

CODE REQUIREMENTS

All project and work shall comply with:  
2016 CBC, 2016 CRC, 2016 CEC, 2016 CMC, 2016 CPC, 2016 CGBSC  
(California Green Building Standards Code), 2010 CA Energy Code,  
California State Codes, and Santa Barbara County Building Ordinance #4871  
and Santa Barbara County Grading Ordinance #4766.

Comply with California Green Building Standard Codes which include, but are  
not limited to, the following:  
Adhesives, sealants, and caulks used on the project shall meet the limits  
shown in CGBSC Tables 4.504.1 or 4.504.2.

Architectural coatings used on the project shall meet the limits shown in  
CGBSC tables 4.504.3

All floorings installed in the building interior shall meet the requirements listed  
in California Green Building Standards Code Sections 4.504.3, 4.504.4, and  
4.504.5.

At the time of final inspection, a manual, compact disc or web based  
reference shall be placed in the building. This manual shall include all of the  
items listed on California Green Building Standards Code Section 4.410.1.

INSPECTIONS AND  
OBSERVATIONS

Special inspections and structural observation are required for this project.  
Work shall be inspected as required by applicable consultants, specified  
below and in consultant's drawings.

Soils Engineer Requirements:  
See Geotechnical Engineer Report No. SB01081-1 on July 9, 2019 for  
special inspection and observation requirements.

Structural Engineer Requirements:  
See structural drawings for special inspection and observation requirements.

FIRE

This project is **NOT** located in a Local Responsibility Area designated Very  
High Fire Hazard Severity Zone (VHFHSZ).

ABBREVIATIONS

|                            |                            |
|----------------------------|----------------------------|
| A.D area drain             | INSUL. insulation          |
| ADJ. adjustable            | INT. interior              |
| BLDG. building             | JST. joist                 |
| BLKG. blocking             | JT. joint                  |
| CL.R. clear                | LAV. lavatory              |
| COL. column                | MAX. maximum               |
| CONC. concrete             | MTL. metal                 |
| DBL. double                | MIN. minimum               |
| DTL. detail                | MIR. mirror                |
| DIA. diameter              | MISC. miscellaneous        |
| DIM. dimension             | N. north                   |
| DN. down                   | N.I.C. not in contract     |
| DS. downspout              | N.T.S. not to scale        |
| DWG. drawing               | PL. plate                  |
| E.J. expansion joint       | PLYWD. plywood             |
| EF exhaust fan             | RAD. radius                |
| EL. elevation (grade)      | R.D. roof drain            |
| ELEV. elevation (building) | REF. reference             |
| EQPT. equipment            | REFR. refrigerator         |
| FDN. foundation            | SHTG. sheathing            |
| F.E. fire extinguisher     | SIM. similar               |
| FIN. finish                | SPEC. specification        |
| FL. floor                  | SQ. square                 |
| F.O.C. face of concrete    | STRUC. structural          |
| F.O.F. face of finish      | SUSP. suspended            |
| F.O.M. face of masonry     | TR. tread                  |
| F.O.S. face of stud        | TEMP. tempered             |
| FTG. footing               | T. & G. tongue & groove    |
| GL. glass                  | THK. thick                 |
| GYP. gypsum                | TOIL. toilet               |
| H.B. hose bibb             | T.O. top of                |
| HORIZ. horizontal          | T.O.P. top of plywood      |
| HGT. height                | T.O.S. top of slab         |
|                            | T.V. television            |
|                            | TYP. typical               |
|                            | UNO unless noted otherwise |
|                            | W.C. water closet          |

SYMBOL LEGEND

|  |  |
|--|--|
|  | Finish Elevation Reference                             |
|  | Detail Reference                                       |
|  | Detail Number<br>Sheet Number                          |
|  | Exterior Elevation Reference                           |
|  | Detail Number<br>Sheet Number                          |
|  | Building or Wall Section Reference                     |
|  | Detail Number<br>Sheet Number                          |
|  | Interior Elevation Reference                           |
|  | Detail Number<br>Sheet Number<br>Directional Reference |
|  | Window Reference -<br>See sheet A-4 for schedule       |
|  | Door Reference - See<br>sheet A-4 for schedule         |
|  | Material and Keynote Reference                         |

AGENCIES

|                         |   |
|-------------------------|---|
| PLANNING & DEVELOPMENT: | City of Santa Barbara<br>630 Garden St.<br>Santa Barbara, CA 93101<br>(805) 564-5578                        |
| BUILDING & SAFETY:      | City of Santa Barbara<br>630 Garden St.<br>Santa Barbara, CA 93101<br>(805) 564-5578                        |
| FLOOD CONTROL:          | Creeks Division<br>620 Laguna Street,<br>Santa Barbara, CA 93101<br>(805) 897-2658                          |
| FIRE DEPARTMENT:        | City of Santa Barbara Fire<br>Department<br>925 Chapala Street<br>Santa Barbara, CA 93101<br>(805) 965-5254 |
| PUBLIC WORKS:           | City of Santa Barbara<br>630 Garden St.<br>Santa Barbara, CA 93101<br>(805) 564-5377                        |

UTILITIES

|                 |  |
|-----------------|--|
| WATER:          | City of Santa Barbara Water<br>630 Garden St.<br>Santa Barbara, CA 93101<br>(805) 564-5460 |
| ELECTRIC POWER: | Southern California Edison<br>103 David Love Place<br>Goleta CA 93117<br>805-683-5212      |
| NATURAL GAS:    | The Gas Company<br>630 East Monctito Street<br>Santa Barbara, CA 93103<br>(805) 681-8061   |
| TELEPHONE:      | Verizon<br>PO Box 339<br>Santa Barbara, CA 93102<br>(805) 966-0393                         |
| CATV:           | Cox Communications<br>22 South Fairview Ave.<br>Goleta, CA 93117<br>(805) 681-3841         |

PROJECT TEAM

|                      |   |
|----------------------|---|
| OWNER:               | Tim & Susan Gorham<br>5285 Baseline Ave<br>Santa Ynez, CA 93460<br>Email: ttgorham@aol.com  |
| ARCHITECT:           | KAS Architect<br>Contact: Kas Seefeld<br>924 Anacapa Street<br>Santa Barbara, CA 93101<br>Phone: (805) 708-2170<br>Email: kas@kasseefeld.com              |
| GENERAL CONTRACTOR:  | Urquidez Building Corporation<br>Contact: Chris Urquidez<br>2880 Grand Ave., Second Floor P.O. box 956<br>Los Olivos, CA 93441<br>Email: chrisu@ubc.build |
| STRUCTURAL ENGINEER: | Ashley & Vance Engineering, Inc<br>Contact: Paul Belmont<br>210 E. Cota St. Santa Barbara, CA 93101<br>Email: paul@ashleyvance.com                        |
| ENERGY CONSULTANT:   | Carstairs Energy<br>2238 Bayview Heights Drive, Suite E<br>Los Osos, Ca. 93402<br>(805) 904-9048  |
| SOIL ENGINEER:       | GEO Solutions<br>Contact: Bradley Bucher<br>201 S. Milpas Street, Suite 103<br>Santa Barbara, CA 93103  |
| LANDSCAPE ARCHITECT: | Barefoot Design<br>Contact: Jessica Harlin<br>1187 Coast Village Rd. #287,<br>Santa Barbara, CA 93108<br>Email: jessica@barefoot-design.net               |

PROJECT DATA

|                           |   |
|---------------------------|---|
| ADDRESS:                  | 1211 Del Mar Ave. Santa Barbara, CA 93109 |
| A.P.N.:                   | 045-213-003                               |
| PARCEL SIZE:              | 0.15 Acre, or 6,534 Sq. Ft.               |
| LAND USE:                 | Single Family Residential                 |
| ZONING:                   | E3/SD-3 (SBMC Title 28)                   |
| SETBACKS:                 | Front = 20'-0" Interior/Rear = 6'-0"      |
| MAX BLDG HEIGHT:          | 30'-0"                                    |
| OCCUPANCY CLASSIFICATION: | R-3/U                                     |
| TYPE OF CONSTRUCTION      | Type-V                                    |
| SWMP                      | Tier 2                                    |

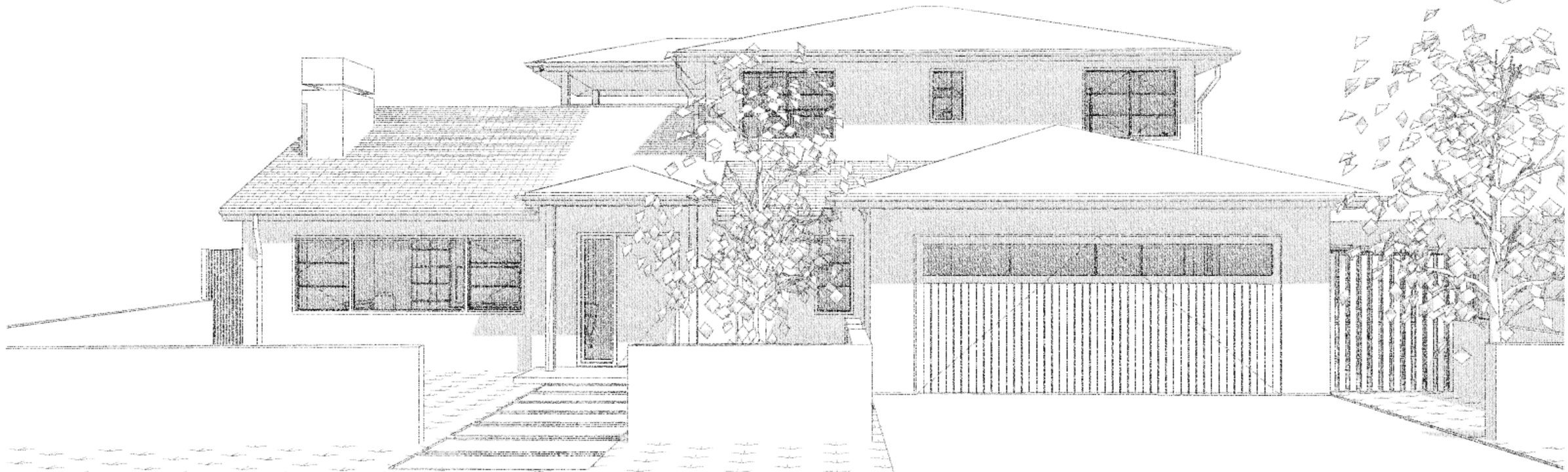
DEVELOPMENT

**Project Description:**  
Remodel existing 1,433 sq. ft. one story, single-family residence with existing 263 sq. ft. garage & add 651 sq. ft. to create a 2,084 sq. ft. two story residence with a 379 sq. ft. garage and a 157 sq. ft. covered patio off second floor. The scope of work includes new doors and windows, new roof, and new exterior wall finishes. Site work includes new patio in rear yard, new landscaping in the front yard and a new driveway and curb cut; existing driveway and curb cut to be removed.

|                                     |                                 |                 |  |
|-------------------------------------|---------------------------------|-----------------|--|
| <b>Grading:</b>                     |                                 |                 |  |
| N/A                                 |                                 |                 |  |
| <b>Structures to be Demolished:</b> |                                 |                 |  |
| N/A                                 |                                 |                 |  |
| <b>Development:</b>                 | <b>Net:</b>                     | <b>Gross:</b>   |  |
| <b>Existing Residence:</b>          |                                 |                 |  |
| Existing Residence:                 | 1,433 sf                        | 1,507 sf        |  |
| Existing Garage:                    | 263 sf                          | 285 sf          |  |
|                                     | <b>Existing Total: 1,696 sf</b> | <b>1,792 sf</b> |  |
| <b>Proposed Residence:</b>          |                                 |                 |  |
| (1st Floor):                        | 1,570 sf                        | 1,652 sf        |  |
| (2nd Floor):                        | 514sf                           | 565 sf          |  |
| Sub-Total:                          | 2,084 sf                        | 2,217 sf        |  |
| Proposed Garage:                    | 379 sf                          | 408 sf          |  |
|                                     | <b>Proposed Total: 2,463 sf</b> | <b>2,625 sf</b> |  |
| <b>Parking:</b>                     |                                 |                 |  |
| Covered: Existing 1, Proposed 2     |                                 |                 |  |
| Required: 2                         |                                 |                 |  |

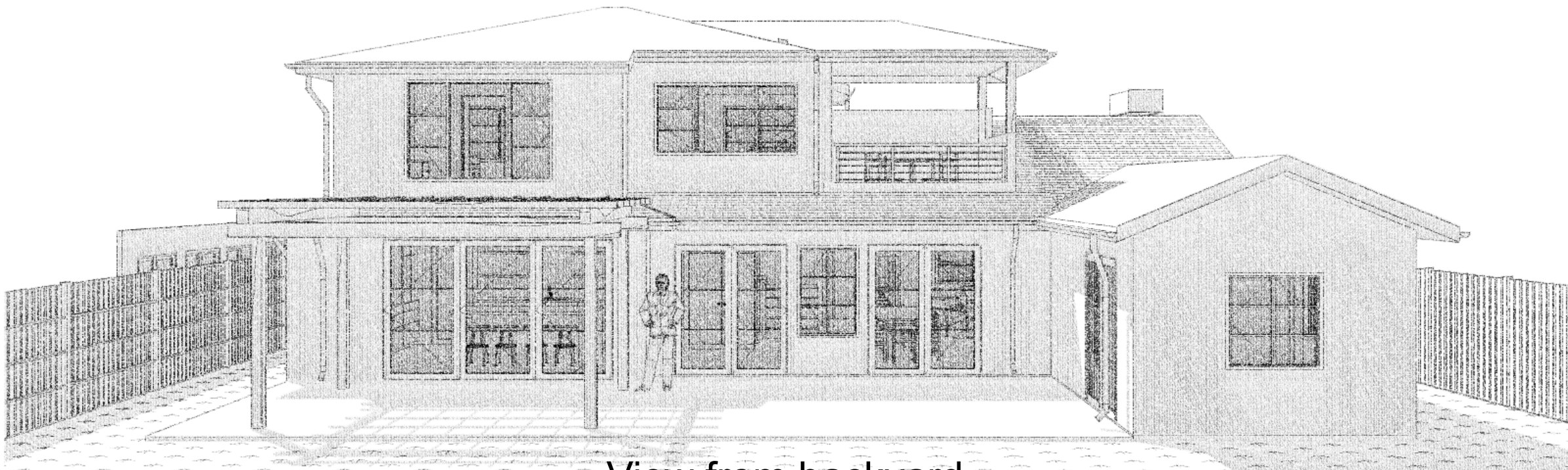
|                                      |                 |                 |  |
|--------------------------------------|-----------------|-----------------|--|
| <b>Storm Water Management Calcs:</b> |                 |                 |  |
| Tier 2                               |                 |                 |  |
| <b>Pervious:</b>                     | <b>Proposed</b> | <b>Existing</b> |  |
| Hardscape:                           | 1,255 SF        | 1,019 SF        |  |
| Residence:                           | 2,080 SF        | 1,792 SF        |  |
| Total:                               | 3,315 SF        | 2,811 SF        |  |
| <b>Impervious (gravel)</b>           | 863 SF          | 0 SF            |  |

Per Table 5-1 Matrix Table for Comparison of Basic BMP Options  
We are using 5.3 disconnected downspouts and 5.5 Rain Barrels.  
See Landscape Plans L2.00 for Details



View from street

NOT TO SCALE



View from backyard

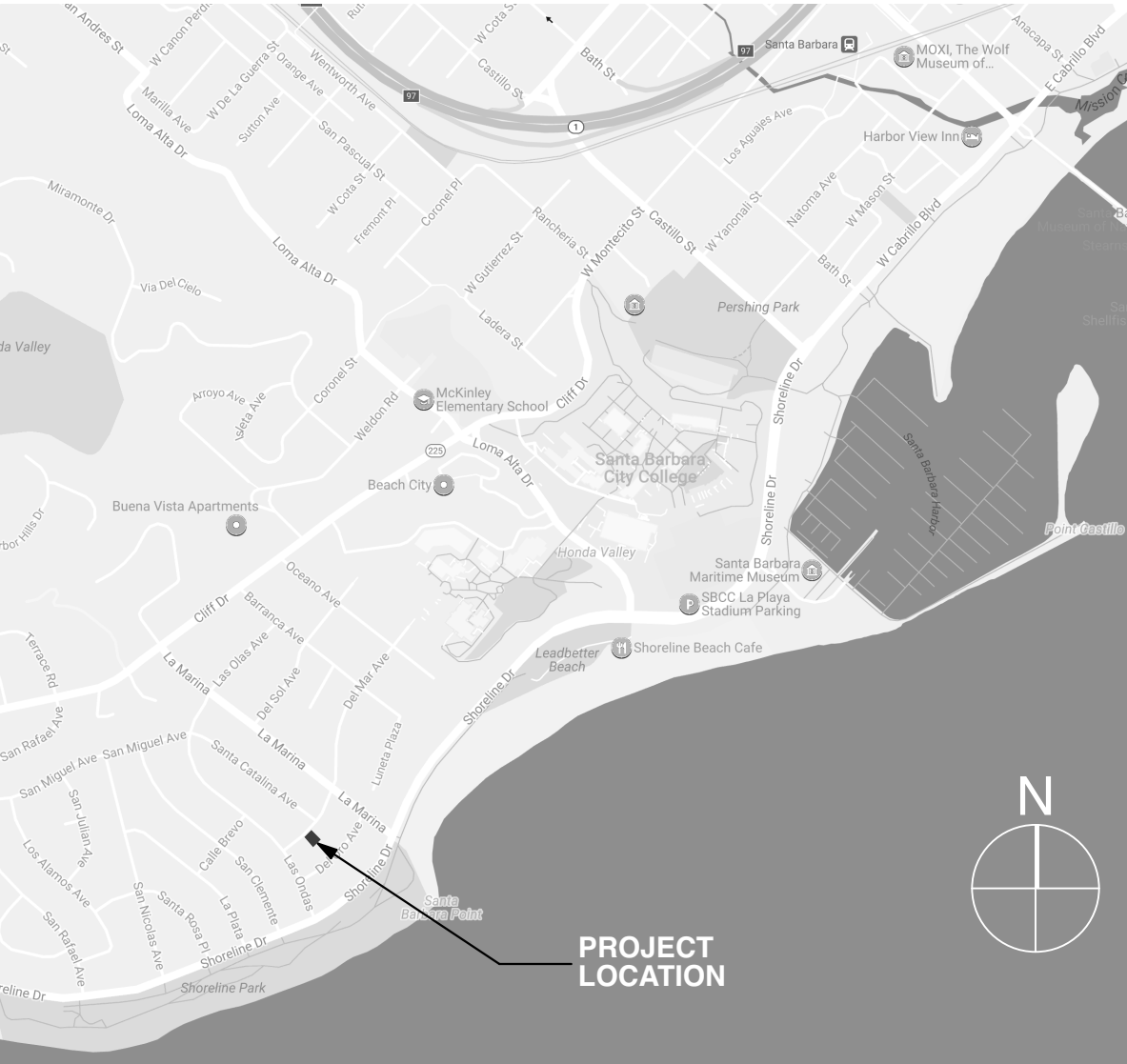
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SHEET INDEX

|                               |  |
|-------------------------------|--|
| <b>GENERAL INDEX</b>          |  |
| G1                            | TITLE SHEET / GENERAL INFO / SITE PLAN             |
| G1.1                          | SITE PHOTOS  |
| G1.2                          | STREETSCAPE & FAR EXHIBIT                          |
| G1.3                          | MODIFICATION RESOLUTION                            |
| <b>ARCHITECTURAL DRAWINGS</b> |  |
| A0                            | SITE PLANS   |
| A1                            | EXISTING PLAN & PROPOSED FIRST FLOOR               |
| A1.1                          | PROPOSED SECOND FLOOR & ROOF PLAN                  |
| A2.1                          | REFLECTED CEILING PLAN                             |
| A3                            | EXISTING & PROPOSED BUILDING ELEVATIONS            |
| A3.1                          | EXISTING & PROPOSED BUILDING ELEVATIONS (CONT.)    |
| A4                            | BUILDING SECTIONS                                  |
| A4.1                          | BUILDING SECTIONS (CONT.) DOOR AND WINDOW SCHEDULE |
| A5.1                          | DOOR & WINDOW SCHEDULE                             |
| A8                            | DETAILS  |
| A8.1                          | DETAILS CONT.                                      |
| <b>STRUCTURAL DRAWINGS</b>    |  |
| S2.1                          | FOUNDATION PLAN                                    |
| S2.2                          | FLOOR FRAMING PLAN                                 |
| S2.3                          | ROOF FRAMING PLAN                                  |
| <b>LANDSCAPE DRAWINGS</b>     |  |
| L1.00                         | LANDSCAPE PLAN                                     |
| L1.01                         | IRRIGATION DETAILS                                 |
| L1.02                         | IRRIGATION DETAILS CONT.                           |
| L2.00                         | PLANTING PLAN                                      |
| L2.01                         | PLANTING DETAILS                                   |
| <b>ELECTRICAL DRAWINGS</b>    |  |
| E1                            | ELECTRICAL PLANS                                   |

|   |                                     |
|---|-------------------------------------|
| ENTER Project Address:  | 1211 Del Mar Ave                    |
| Is there a basement or cellar existing or proposed?   | No                                  |
| ENTER Proposed TOTAL Net FAR Floor Area (in sq. ft.):   | 2,463                               |
| ENTER Zone ONLY from drop-down list:  | E-3                                 |
| ENTER Net Lot Area (in sq. ft.):  | 6,534                               |
| Is the height of existing or proposed buildings 17 feet or greater?                           | Yes                                 |
| Are existing or proposed buildings two stories or greater?                                    | Yes                                 |
| The FAR Requirements are:   | REQUIRED**                          |
| ENTER Average Slope of Lot:   | 1.00%                               |
| Does the height of existing or proposed buildings exceed 25 feet?                             | No                                  |
| Is the site in the Hillside Design District?  | No                                  |
| Does the project include 500 or more cu. yds. of grading outside the main building footprint? | No                                  |
| An FAR MOD is not required per SBMC §28.15  |                                     |
| FLOOR AREA RATIO (FAR):   | 0.377                               |
| Lot Size Range:   | 4,000 - 9,999 sq.ft.                |
| MAX FAR Calculation (in sq. ft.):   | 1,200 + (0.25 x lot size in sq.ft.) |
| 100% MAX FAR:   | 0.434                               |
| 100% MAX FAR (in sq. ft.):  | 2,834                               |
| 85% of MAX FAR (in sq. ft.):  | 2,408                               |
| 80% of MAX FAR (in sq. ft.):  | 2,267                               |
| The 2463 square foot proposed total is 87% of the MAX FAR.*                                   |                                     |

\* NOTE: Percentage total is rounded up.  
\*\*NOTE: If your project is located on a site with multiple or overlay zones, please contact Planning Staff to confirm whether the FAR limitations are "Required" or "Guideline".



Vicinity Map

NOT TO SCALE



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ARCHITECT

PROJECT: APN : 045-213-003  
**DEL MAR REMODEL**  
1211 DELMAR  
SANTA BARBARA, CA 93109

ISSUED:  
2018-12-21 SFDRB Concept Sub.  
2019-04-11 SFDRB Concept reSub  
2019-07-22 Planning Review  
2019-10-24 SFDRB Design & Final Sub.

PRINTED 10/23/19

JOB NUMBER: 1806

SHT: **G1**

OF: 24





Garage / Front door



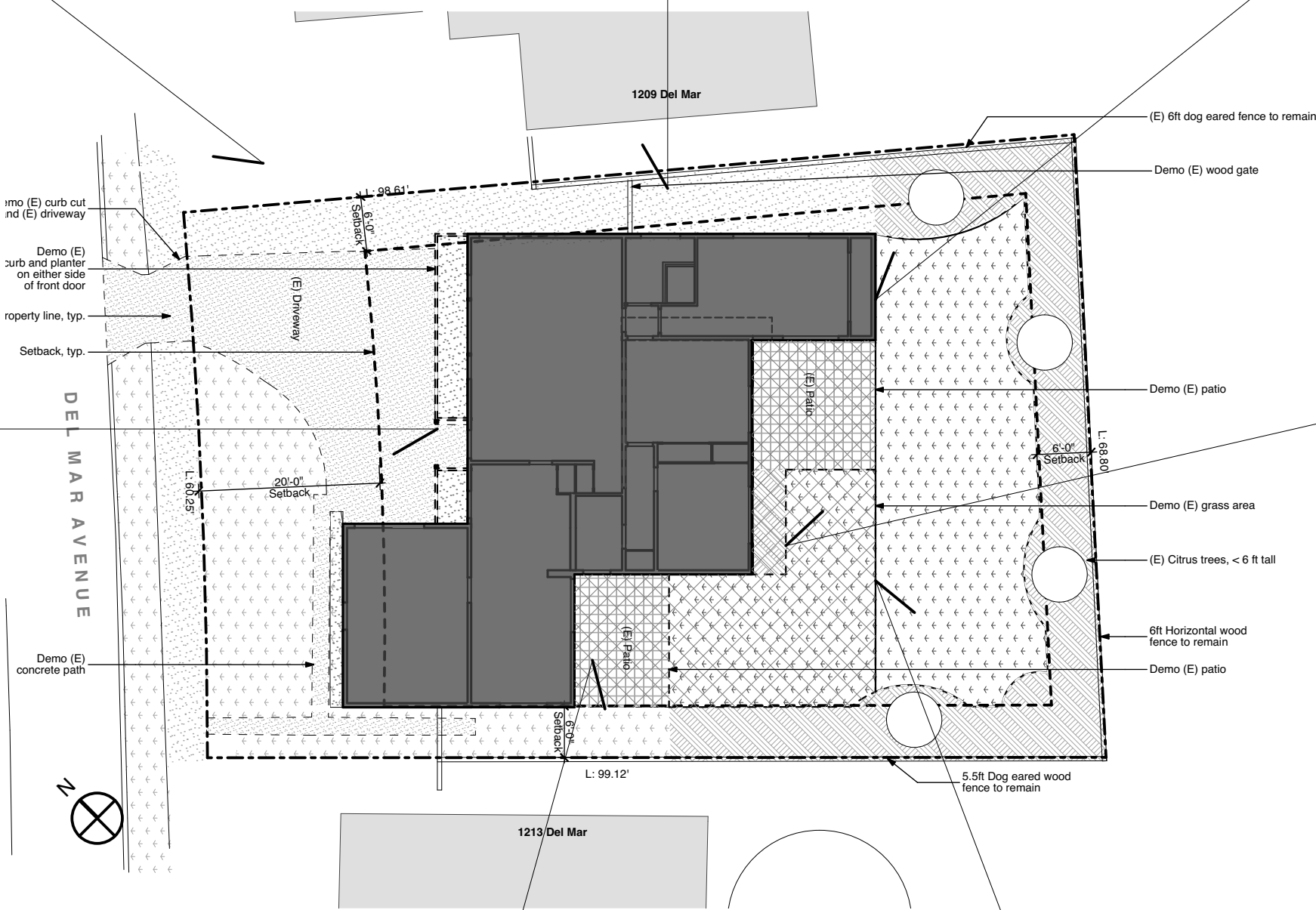
East side yard



South elevation - 1



Street Facade



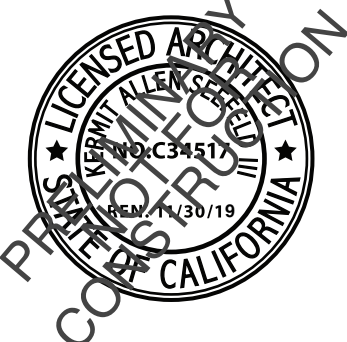
South Elevation - 2



South Elevation - 4



South Elevation - 3



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SHT: **G1.1**

OF: 24









**RESOLUTION NO. 043-19  
1211 DEL MAR AVENUE  
MODIFICATION  
OCTOBER 9, 2019**

The 6,425 square-foot site is currently developed with a one-story single family dwelling with an attached one-car garage. The proposed project involves both a ground floor and second story addition and interior remodel, and a new, attached two-car garage. The proposal also includes a new driveway, a wider curb cut, new doors and windows, a new rear patio, and landscaping.

The Environmental Analyst has determined that the project is exempt from further environmental review pursuant to the California Environmental Quality Act Guidelines Sections 15301 (Existing Facilities) and 15305 (Minor Alterations in Land Use Limitations).

WHEREAS, two people appeared to speak, and the following exhibits were presented for the record:

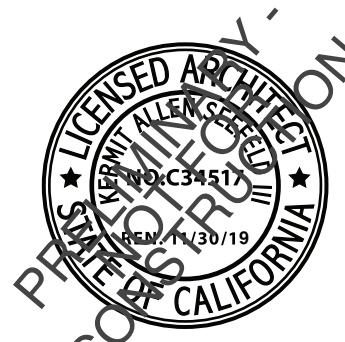
1. Staff Report with Attachments, October 3, 2019
2. Site Plans
3. Correspondence received:
  - a. Rick Wolf, 1213 Del Mar Ave., Santa Barbara CA, 93109
  - b. Robert Blamire, 207 Santa Catalina Ave, Santa Barbara CA, 93109

- I. Approved the subject application, making the finding and determination that the Modification to allow a change to the basic exterior characteristics of the existing residence is consistent with the purposes and intent of the Zoning Ordinance and is necessary to secure an appropriate

improvement on the lot with a minor, nonconforming encroachment in the interior setback. The proposed addition will observe all required setbacks and will not increase the amount of encroachment into the required setbacks. No significant impacts to the surrounding neighborhood are anticipated as a result of the second story addition.

Date \_\_\_\_\_

1. This action of the Staff Hearing Officer can be appealed to the Planning Commission within ten (10) days after the date the action was taken by the Staff Hearing Officer.
2. If the scope of work exceeds the extent described in the Modification request or that which was represented to the Staff Hearing Officer at the public hearing, it may render the Staff Hearing Officer approval null and void.
3. If you have any existing zoning violations on the property, other than those included in the conditions above, they must be corrected within thirty (30) days of this action.
4. Subsequent to the outcome of any appeal action, your next administrative step should be to apply for Single Family Design Board (SFDB) approval and then a building permit.
5. **PLEASE NOTE: A copy of this resolution shall be reproduced on the first sheet of the drawings submitted with the application for a building permit.** The location, size and design of the construction proposed in the application for the building permit shall not deviate from the location, size and design of construction approved in this modification.
6. **NOTICE OF APPROVAL TIME LIMITS:** The Staff Hearing Officer's action approving the Performance Standard Permit or Modifications shall expire three (3) years from the date of the approval, per SBMC §30.205.120, unless:
  - a. A building permit for the construction authorized by the approval is issued within thirty six months of the approval. (An extension may be granted by the Staff Hearing Officer if the construction authorized by the permit is being diligently pursued to completion.) or;
  - b. The approved use has been discontinued, abandoned or unused for a period of six months following the earlier of:
    - i. an Issuance of a Certificate of Occupancy for the use, or;
    - ii. one (1) year from granting the approval.



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PROJECT: APN : 045-213-003

**DEL MAR REMODEL**

1211 DEL MAR  
SANTA BARBARA, CA 93109

2019-10-24 SFDRB Design &amp; Final Sub

JOB NUMBER: **1806**

SHT: **G1.3**

SHT: 91.3

OF: 24

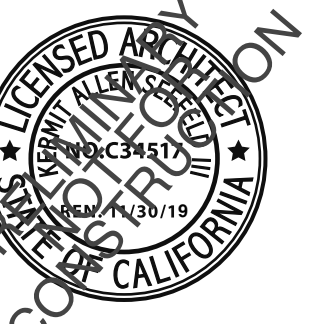




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24





DEL MAR REMODEL

**SUED**

018-12-21 SFDRB Concept Sub

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019-04-11 SFDRB Concept reS

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019-07-22 Planning Review

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019-10-24 SFDRB Design & Final Sub





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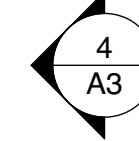
B NUMBER: **1806**

**A1**

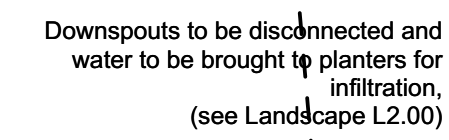
F: 24

## WALL LEGEND

- |   |                                 |
|---|---------------------------------|
|  | EXISTING WALL TO REMAIN         |
|  | EXISTING WALL TO BE REMOVED     |
|  | NEW WALL                        |
|  | NEW R-19 INSULATION AT (N) WALL |

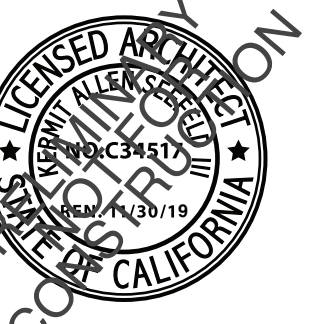


SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"





APN : 045-213-003

**DEL MAR REMODEL**

1211 DEL MAR  
SANTA BARBARA, CA 93109





**SUED**

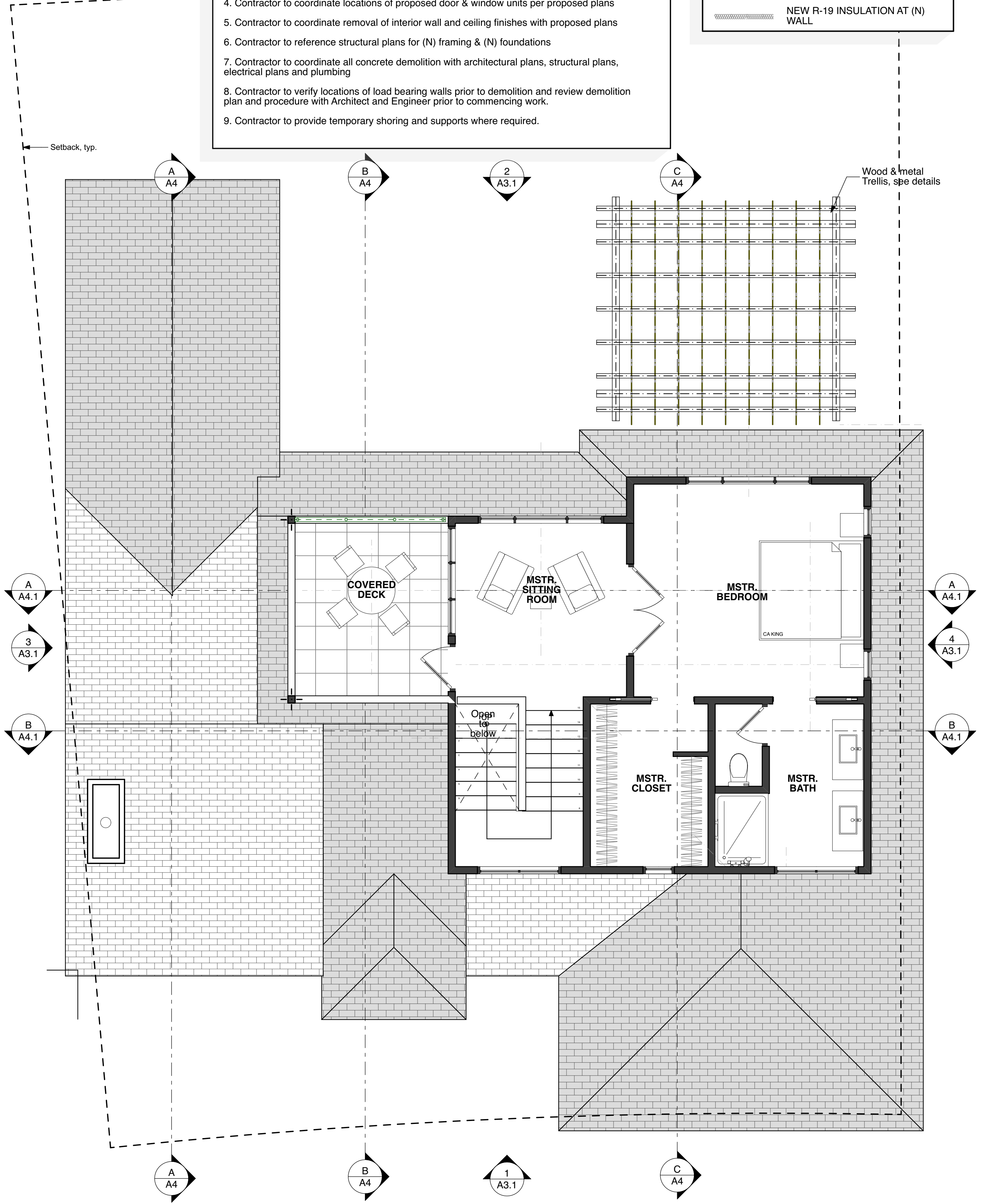
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B NUMBER: **1806**

F: 24

## WALL LEGEND

- |   |                                 |
|---|---------------------------------|
|  | EXISTING WALL TO REMAIN         |
|  | EXISTING WALL TO BE REMOVED     |
|  | NEW WALL                        |
|  | NEW R-19 INSULATION AT (N) WALL |

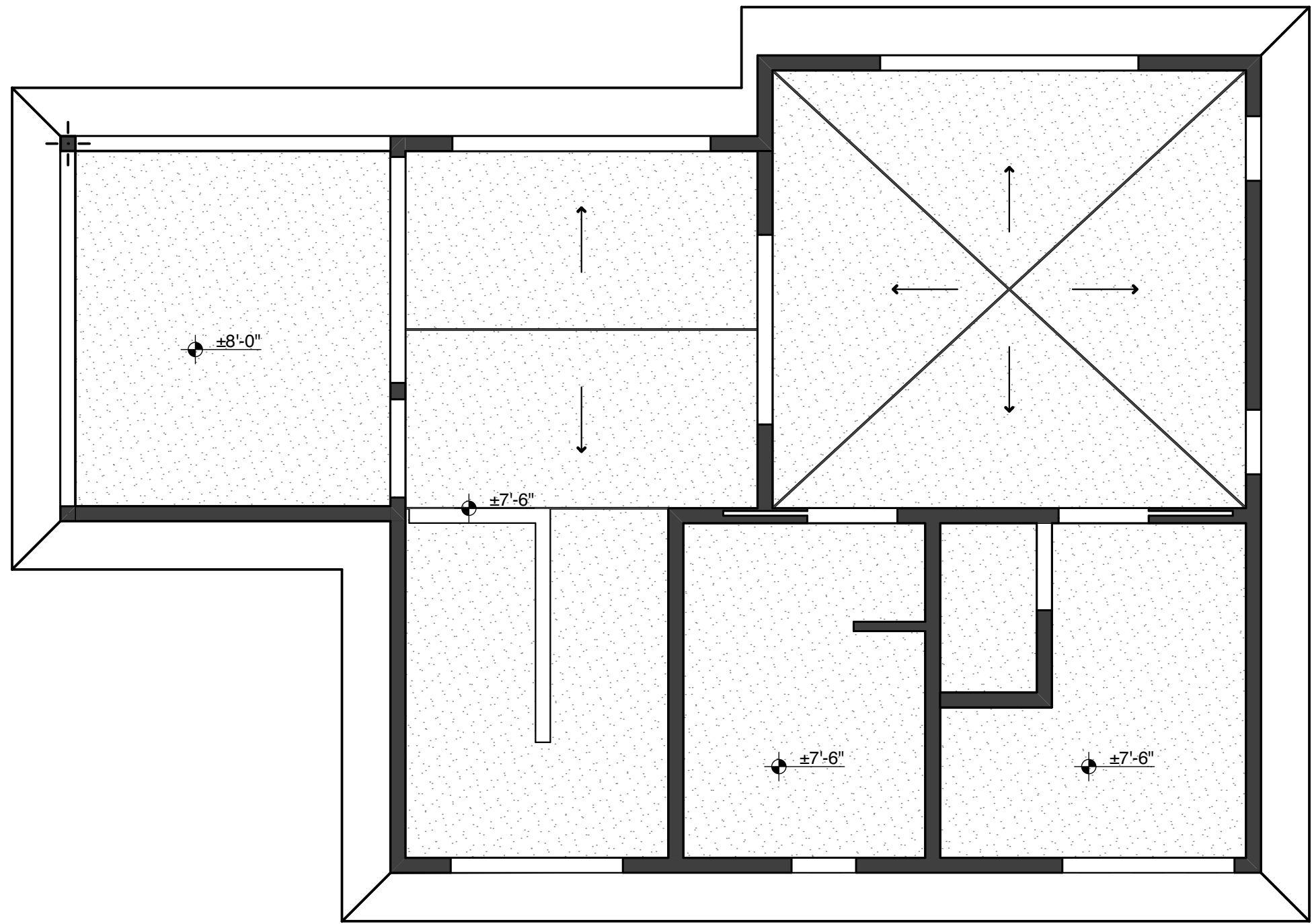


## PROPOSED SECOND FLOOR PLAN

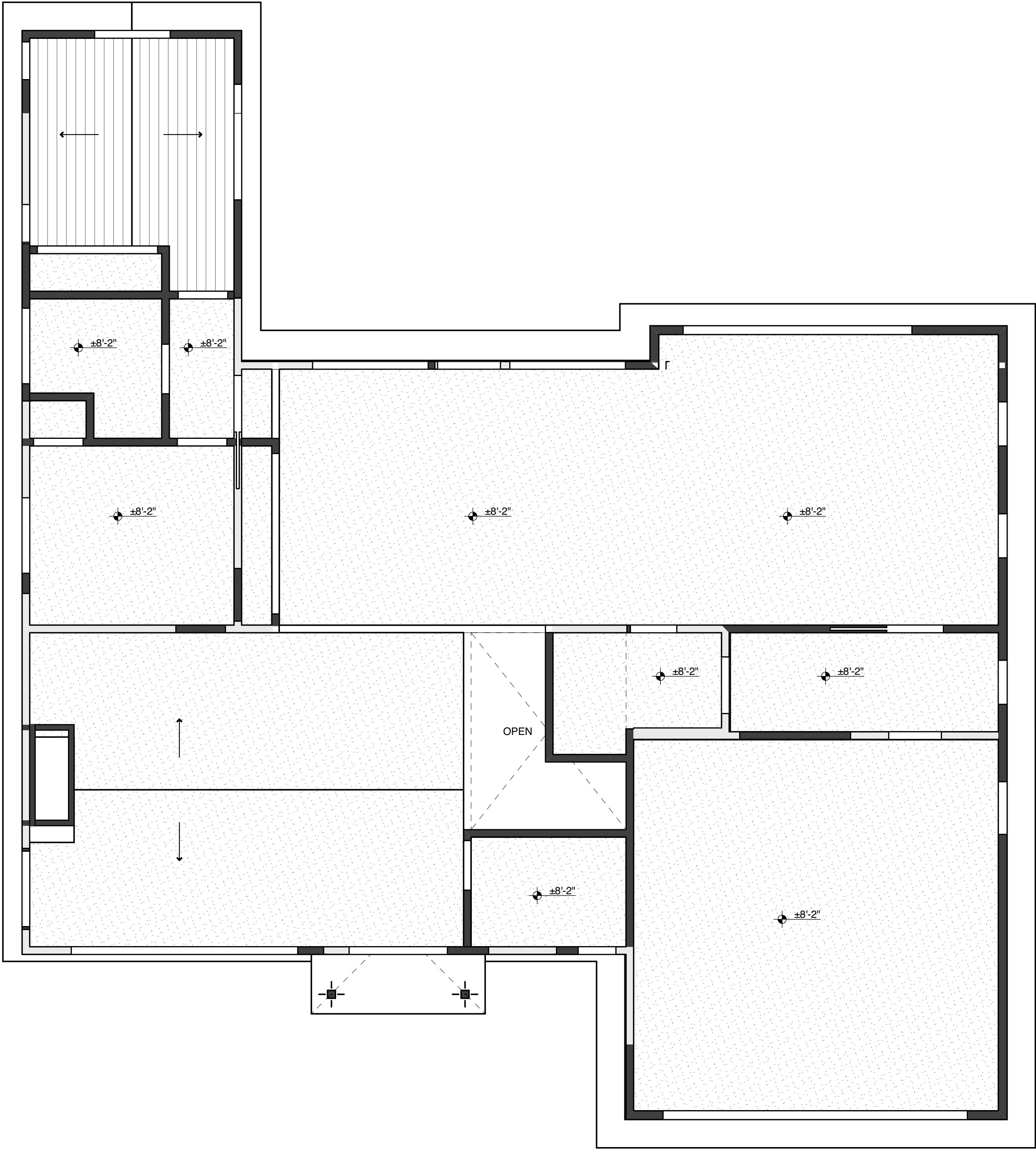
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## A1.1



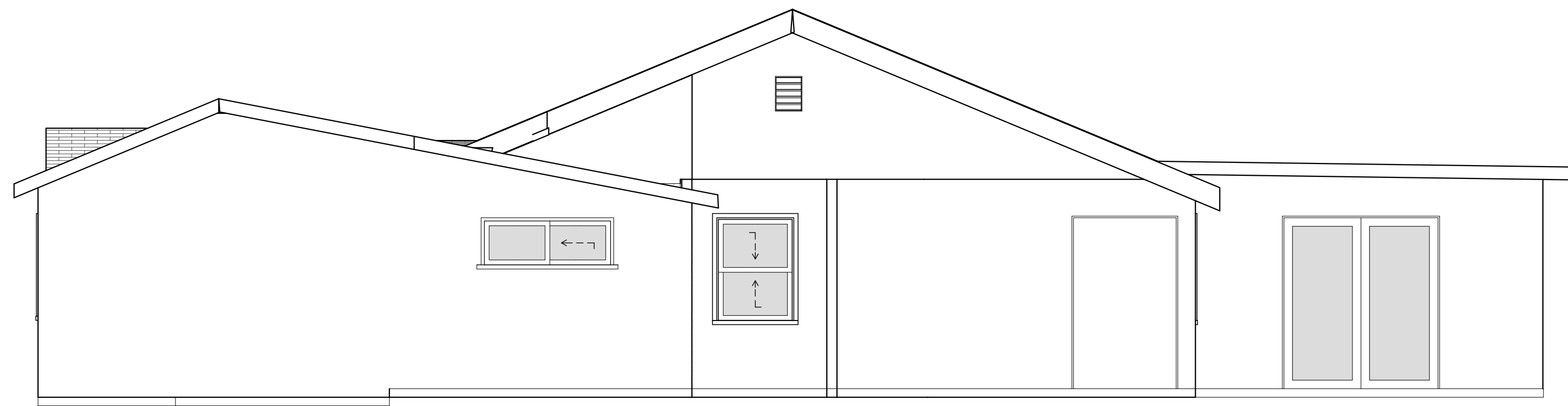


SECOND FLOOR RCP  
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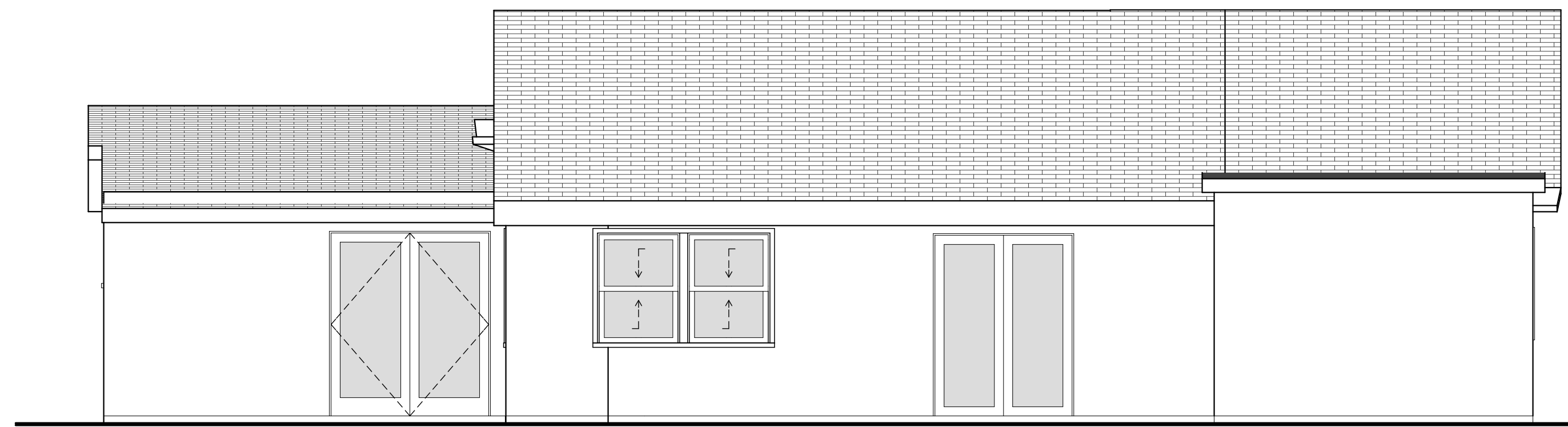


FIRST FLOOR RCP  
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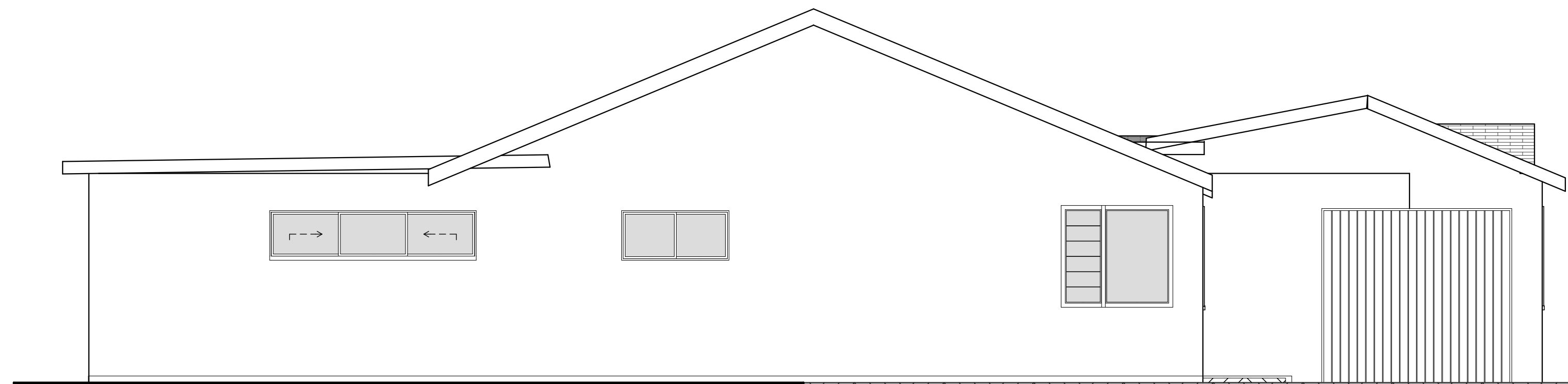




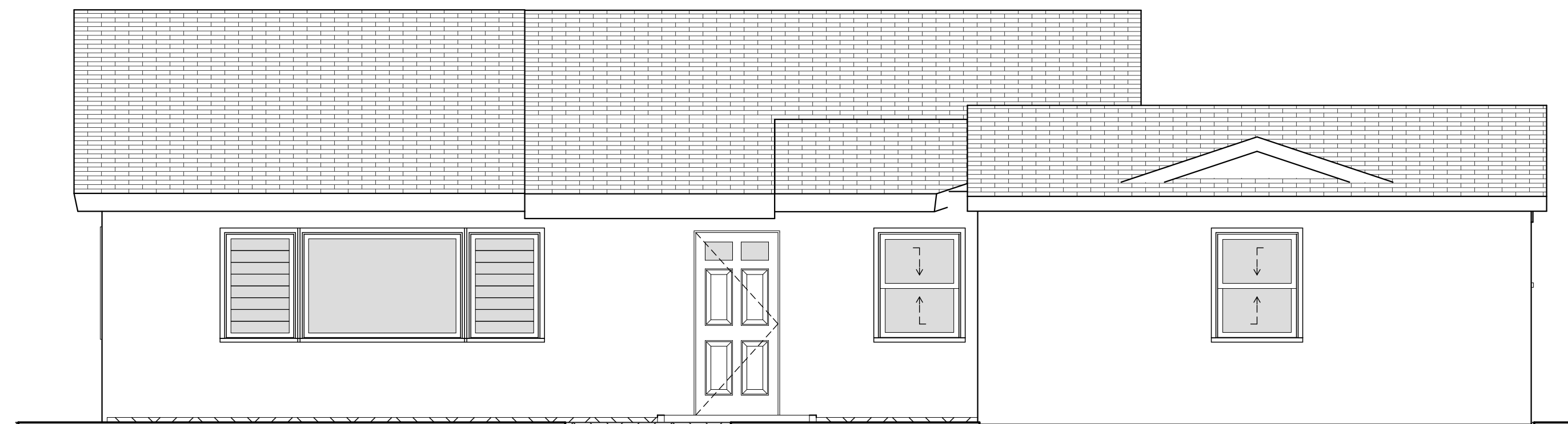
**4 EXISTING WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 EXISTING SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**3 EXISTING EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**1 EXISTING NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"





1. Asphalt shingle roof; "Weathered Wood"
2. **Windsor** doors and windows; Walnut
3. **La Habra** integral colored stucco; X-820 Silverado
4. **Davis Colors**; Integral color concrete
5. Exterior wood beams and post; Cabot semi-transparent sandstone stain
6. Light fixture; bronze metallic finish



APN : 045-213-003

**DEL MAR REMODEL**

1211 DEL MAR  
SANTA BARBARA, CA 93109

APN : 045-Z13-003

018-12-21 SFDRB Concept Sub.

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019-04-11 SFDRB Concept reSub

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019-07-22 Planning Review

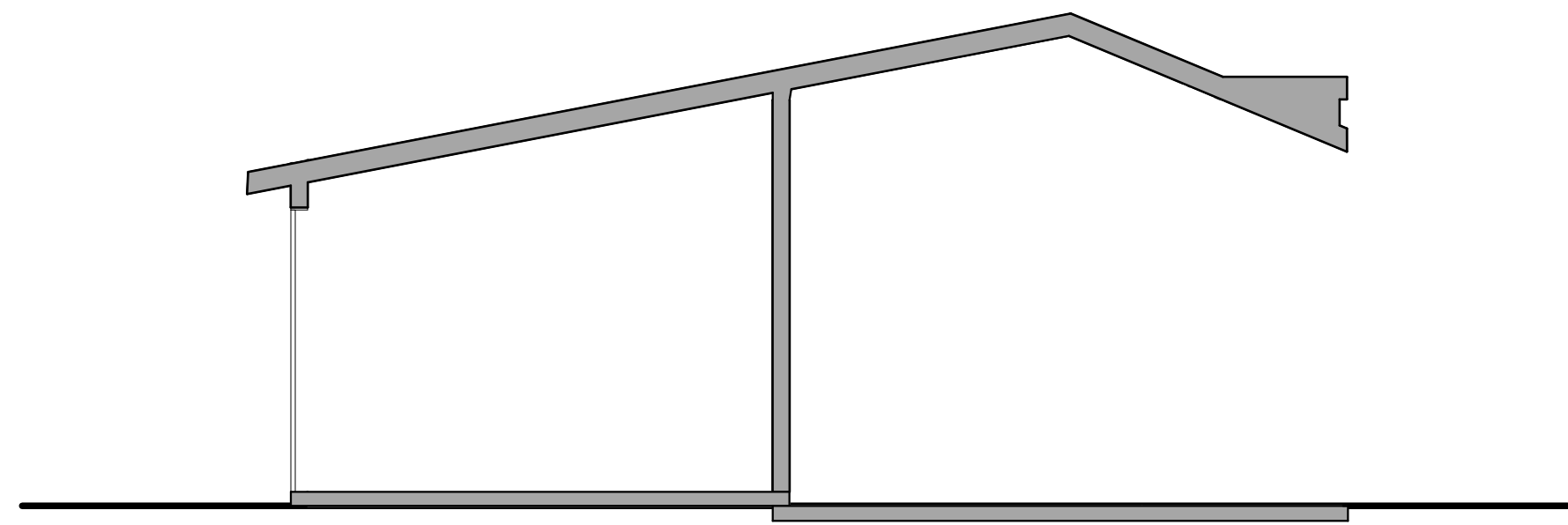
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019-10-24 SFDRB Design & Final Sub.

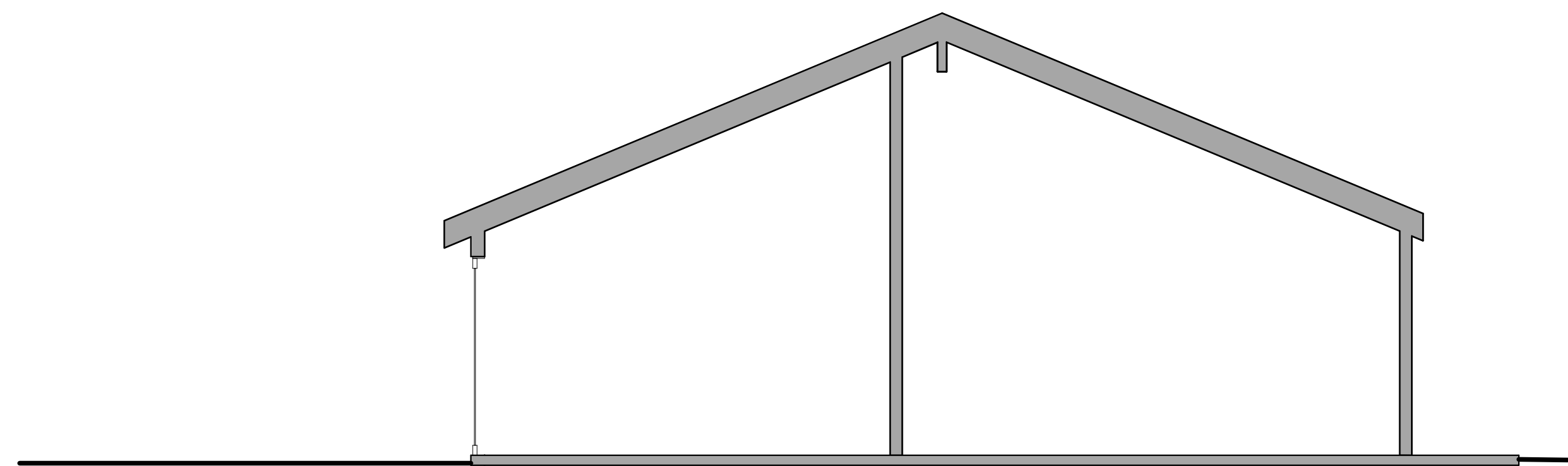
B NUMBER: **1806**

F: 24

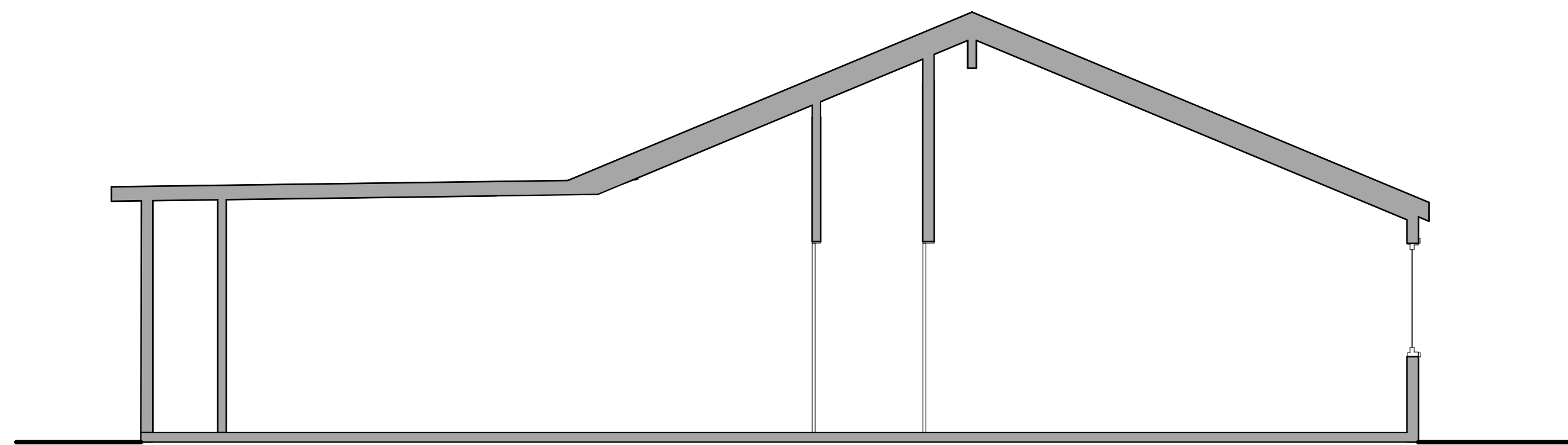




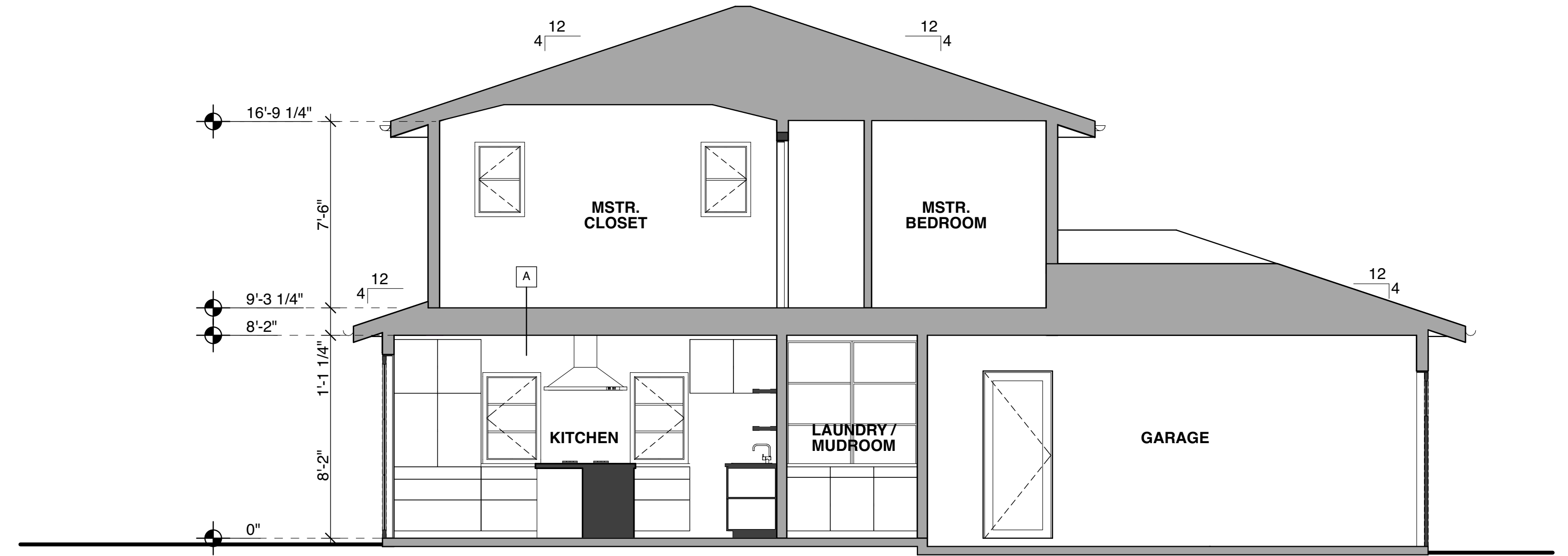
**F BUILDING SECTION Existing**  
SCALE: 1/4" = 1'-0"



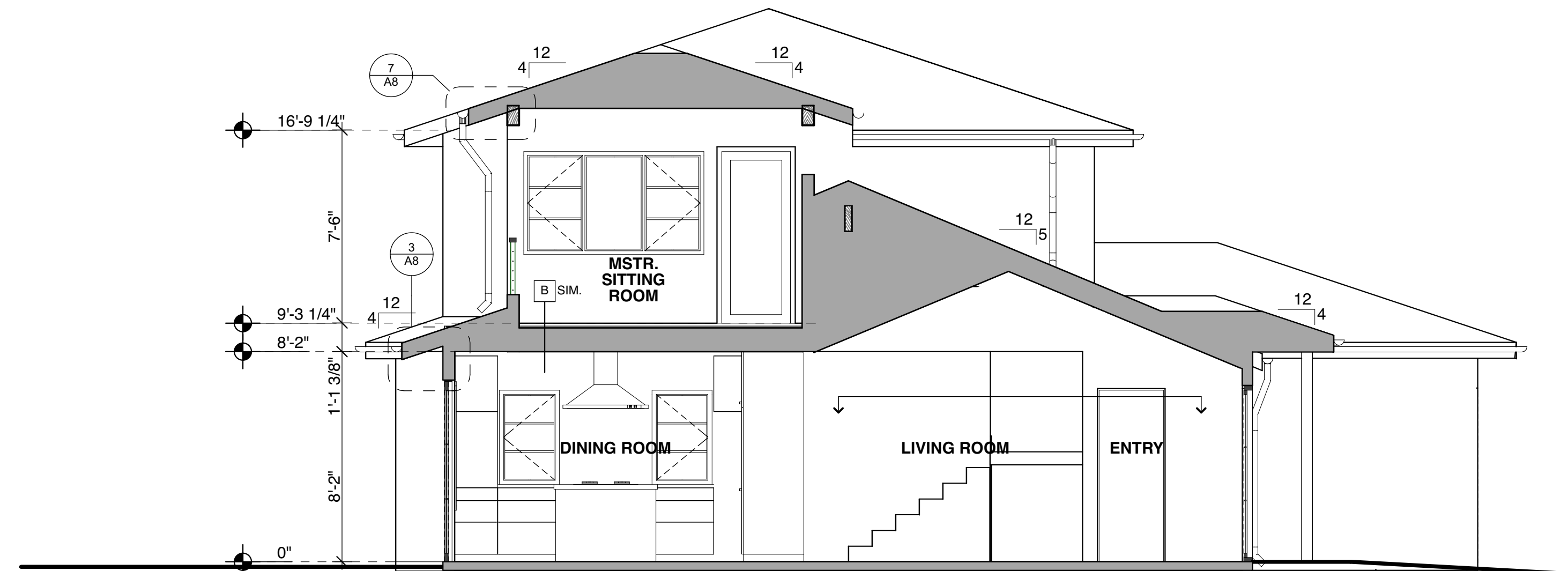
**E BUILDING SECTION Existing**  
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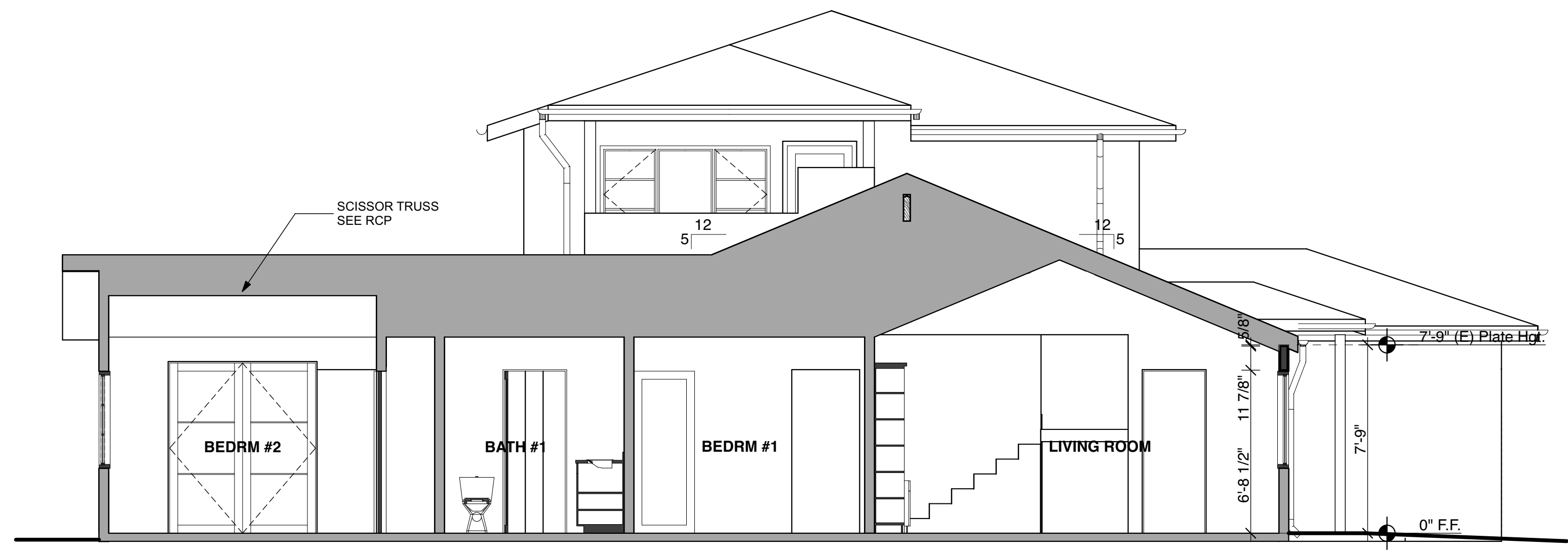
**D BUILDING SECTION Existing**  
SCALE: 1/4" = 1'-0"



**C BUILDING SECTION**  
SCALE: 1/4" = 1'-0"



**B BUILDING SECTION**  
SCALE: 1/4" = 1'-0"



**A BUILDING SECTION**  
SCALE: 1/4" = 1'-0"



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ARCHITECT

PROJECT:  
**DEL MAR REMODEL**  
1211 DEL MAR  
SANTA BARBARA, CA 93109

APN : 045-213-003

ISSUED:  
2018-12-21 SFDRB Concept Sub.  
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2019-10-24 SFDRB Design & Final Sub.

PRINTED 10/23/19

JOB NUMBER: **1806**

SHT: **A4**

OF: **24**





APN : 045-Z13-003

**DEL MAR REMODEL**

1211 DEL MAR  
SANTA BARBARA, CA 93109

SUED:

2018-12-21 SFDRB Concept Sub

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2019-04-11 SFDRB Concept reS

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2019-07-22 Planning Review

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2019-10-24 SFDRB Design & Final Sub

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B NUMBER: **1806**

F: 24



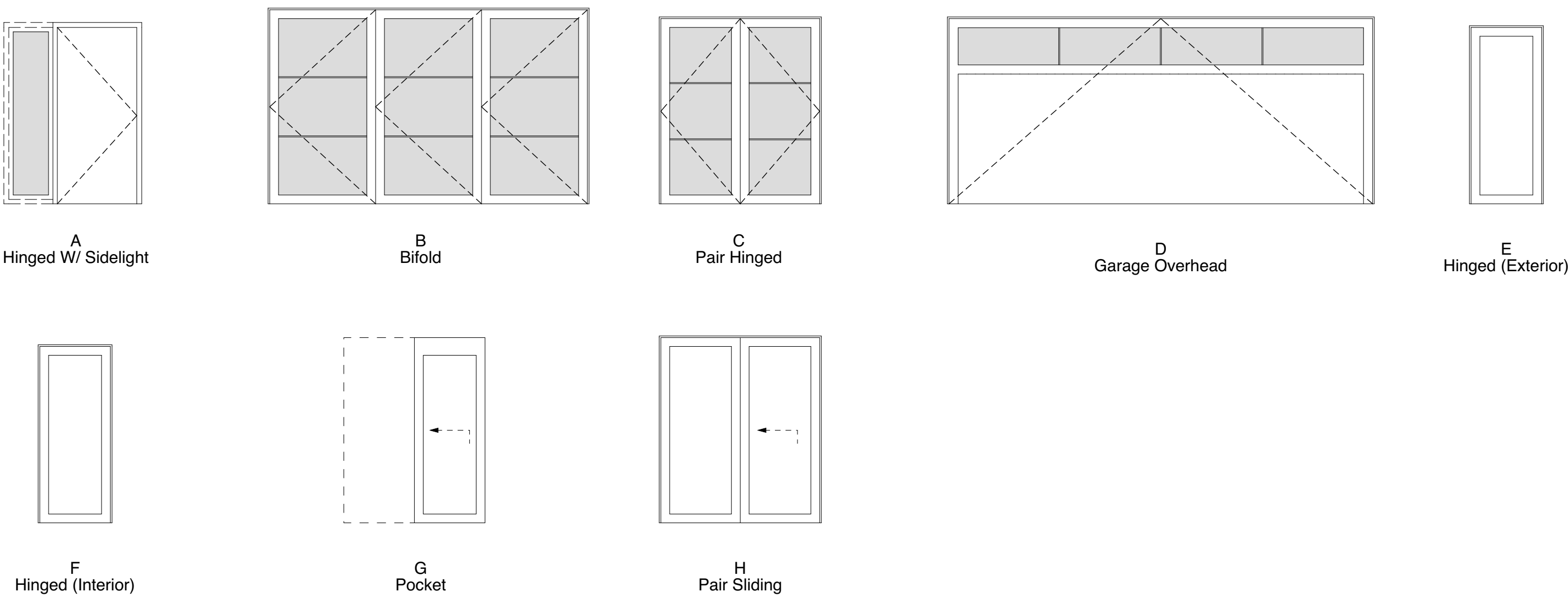


| DOOR SCHEDULE |                   |             |              |             |          |        |        |       |        |               |         |         |
|---------------|-------------------|-------------|--------------|-------------|----------|--------|--------|-------|--------|---------------|---------|---------|
| SYM.          | LOCATION          | OPERATION   | NO. OF LEAFS | DESCRIPTION |          |        | SIZE   |       |        | DOOR HARDWARE | GLAZING | REMARKS |
|               |                   |             |              | Type        | Material | Finish | W      | H     | Thk    |               |         |         |
| FIRST FLOOR   |                   |             |              |             |          |        |        |       |        |               |         |         |
| 01            | Entry             | Hinged      | 1            | A           | Wd       | CLAD   | 3'-0"  | 6'-8" | 1 3/4" |               |         |         |
| 02            | Bedroom #2        | Pair Hinged | 2            | C           | Wd       | CLAD   | 6'-0"  | 7'-0" | 1 3/4" |               | TEMP    |         |
| 03            | Dining Room       | Pair Hinged | 2            | C           | Wd       | CLAD   | 6'-0"  | 7'-0" | 1 3/4" |               | TEMP    |         |
| 04            | Dining Room       | Pair Hinged | 2            | C           | Wd       | CLAD   | 6'-0"  | 7'-0" | 1 3/4" |               | TEMP    |         |
| 05            | Kitchen           | Folding     | 4            | B           | Wd       | CLAD   | 12'-0" | 7'-4" | 1 3/4" |               | TEMP    |         |
| 06            | Garage            | Hinged      | 1            | E           | Wd       | CLAD   | 2'-8"  | 6'-8" | 1 3/4" |               |         |         |
| 07            | Garage            | Garage      | 1            | D           | Wd       | Wd     | 16'-0" | 7'-0" | 1 3/4" |               | TEMP    |         |
| 08            | Powder Room       | Hinged      | 1            | F           | Wd       | Wd     | 2'-6"  | 6'-8" | 1 3/4" |               |         |         |
| 09            | Dining Room       | Pocket      | 1            | G           | Wd       | Wd     | 3'-0"  | 6'-8" | 1 3/4" |               |         |         |
| 10            | Bedroom #1        | Hinged      | 1            | F           | Wd       | Wd     | 2'-6"  | 6'-8" | 1 3/4" |               |         |         |
| 11            | Bedroom #1        | Hinged      | 1            | F           | Wd       | Wd     | 2'-6"  | 6'-8" | 1 3/4" |               |         |         |
| 12            | Bath #1           | Hinged      | 1            | F           | Wd       | Wd     | 2'-6"  | 6'-8" | 1 3/4" |               |         |         |
| 13            | Bedroom #2        | Hinged      | 1            | F           | Wd       | Wd     | 2'-6"  | 6'-8" | 1 3/4" |               |         |         |
| 14            | Bedroom #2        | Sliding     | 2            | H           | Wd       | Wd     | 6'-0"  | 6'-8" | 1 3/4" |               |         |         |
| 15            | Laundry           | Pocket      | 1            | G           | Wd       | Wd     | 3'-0"  | 6'-8" | 1 3/4" |               |         |         |
| 16            | Garage            | Hinged      | 1            | F           | Wd       | Wd     | 2'-8"  | 6'-8" | 1 3/4" |               |         |         |
| 17            | Pantry            | Hinged      | 1            | F           | Wd       | Wd     | 2'-4"  | 6'-8" | 1 3/4" |               |         |         |
| SECOND FLOOR  |                   |             |              |             |          |        |        |       |        |               |         |         |
| 18            | Master Sitting Rm | Hinged      | 1            | E           | Wd       | CLAD   | 2'-8"  | 6'-8" | 1 3/4" |               | TEMP    |         |
| 19            | Master Bedroom    | Pair Hinged | 2            | C           | Wd       | Wd     | 5'-6"  | 6'-8" | 1 3/4" |               |         |         |
| 20            | Master Bedroom    | Pocket      | 1            | G           | Wd       | Wd     | 2'-8"  | 6'-8" | 1 3/4" |               |         |         |
| 21            | Master Bath       | Hinged      | 1            | F           | Wd       | Wd     | 2'-4"  | 6'-8" | 1 3/4" |               |         |         |
| 22            | Master Bedroom    | Pocket      | 1            | G           | Wd       | Wd     | 2'-8"  | 6'-8" | 1 3/4" |               |         |         |

- GENERAL NOTES:**
- Contractor to confirm all rough openings
  - Door unit sizes are approximate dimensions - field verify unit sizes
  - SEE ELEVATIONS FOR OPERATION
  - Vinyl or composite doors; contractor to coordinate weatherization methods w/ window manufacture and best practices for Ty-vek or approved equal building wrap.
  - Doors shall be approved non-combustible construction, 20 minute rated, or 1 3/8" solid core
  - Exterior glazed doors and glazed openings within doors shall be dual glazed with a minimum of one tempered pane, or be glass block units, or be 20 minute fire rated.
  - All doors must satisfy the thermal performance noted in the energy report on sheet T002; U-factor = 0.32 and a SHGC = 0.25
  - The NFRC thermal performance labels shall remain on doors until final inspection.

**ABBREVIATIONS:**

|                 |   |                                   |
|-----------------|---|-----------------------------------|
| ANDZ - Anodized | DL - Dual glazed                                  | ST - Stained                      |
| STL - Steel     | PTD - Painted                                     | CLAD - Aluminum clad              |
| BL - Bleached   | OBS - Obscure glazing                             | TEMP - Tempered safety glazing    |
| CL - Clear      | SNG - Single glazed                               | VGDF - Vertical Grain Douglas Fir |
| GLZ - Glazing   | LAM - 1/4" thick minimum laminated safety glazing |                                   |

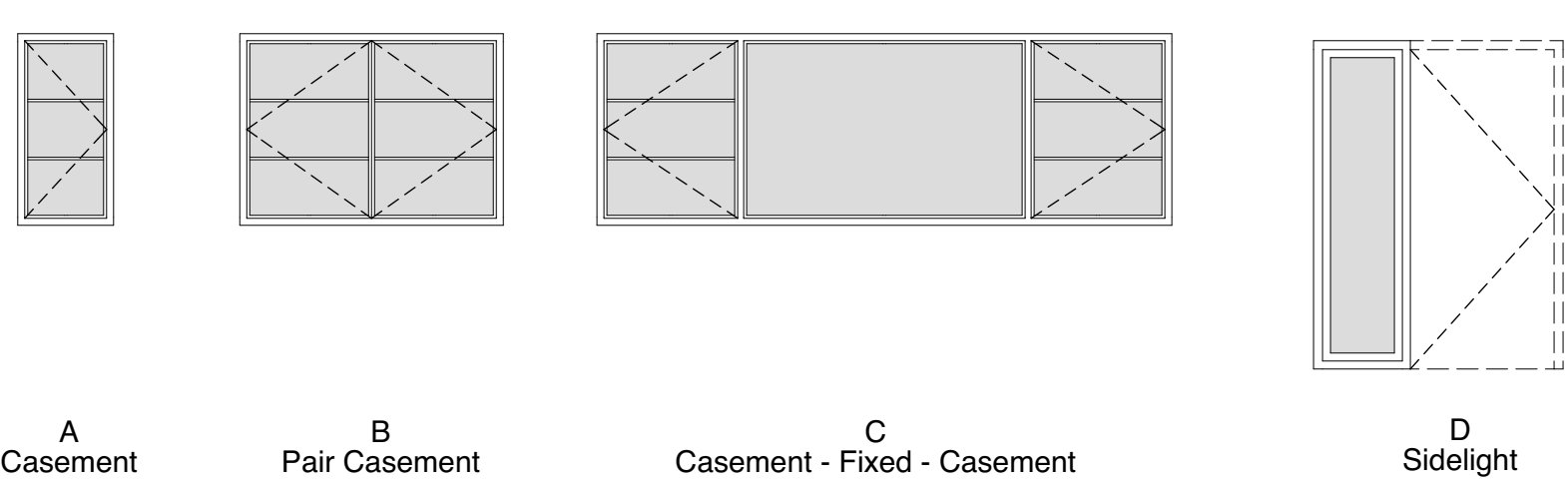


| WINDOW SCHEDULE |                   |           |        |       |      |          |          |          |              |                  |      |      |   |
|-----------------|-------------------|-----------|--------|-------|------|----------|----------|----------|--------------|------------------|------|------|---|
| SYM.            | LOCATION          | OPERATION | SIZE   |       | TYPE | MATERIAL | FINISH   |          | GLAZING      | DETAIL REFERENCE |      |      | REMARKS   |
|                 |                   |           | W      | H     |      |          | Exterior | Interior |              | Head             | Jamb | Sill |   |
| FIRST FLOOR     |                   |           |        |       |      |          |          |          |              |                  |      |      |   |
| 01              | Powder Room       | Casement  | 2'-0"  | 4'-0" | A    | Wd       | CLAD     | PTD      | CL, DL,      |                  |      |      |   |
| 02              | Entry             | Sidelight | 2'-0"  | 6'-8" | D    | Wd       | CLAD     |          | CL, DL, TEMP |                  |      |      |   |
| 03              | Living Room       | Casement  | 12'-0" | 4'-0" | C    | Wd       | CLAD     |          | CL, DL,      |                  |      |      | 3'-0 Casement - 6'-0 Fixed - 3'-0" Casement, Field Mold |
| 04              | Living Room       | Casement  | 4'-0"  | 4'-0" | B    | Wd       | CLAD     |          | CL, DL,      |                  |      |      |   |
| 05              | Bedroom #1        | Casement  | 4'-0"  | 4'-0" | B    | Wd       | CLAD     |          | CL, DL,      |                  |      |      |   |
| 06              | Bath #1           | Casement  | 4'-0"  | 2'-0" | B    | Wd       | CLAD     |          | CL, DL,      |                  |      |      |   |
| 07              | Bedroom #2        | Casement  | 2'-0"  | 4'-0" | A    | Wd       | CLAD     |          | CL, DL,      |                  |      |      |   |
| 08              | Bedroom #2        | Casement  | 2'-0"  | 4'-0" | A    | Wd       | CLAD     |          | CL, DL,      |                  |      |      |   |
| 09              | Bedroom #2        | Casement  | 4'-0"  | 4'-0" | B    | Wd       | CLAD     |          | CL, DL,      |                  |      |      |   |
| 10              | Dining Room       | Casement  | 3'-4"  | 5'-0" | B    | Wd       | CLAD     |          | CL, DL,      |                  |      |      |   |
| 11              | Kitchen           | Casement  | 2'-4"  | 3'-8" | A    | Wd       | CLAD     |          | CL, DL,      |                  |      |      |   |
| 12              | Kitchen           | Casement  | 2'-4"  | 3'-8" | A    | Wd       | CLAD     |          | CL, DL,      |                  |      |      |   |
| 13              | Laundry / Mudroom | Casement  | 2'-4"  | 3'-8" | A    | Wd       | CLAD     | ▼        | CL, DL,      |                  |      |      |   |
| SECOND FLOOR    |                   |           |        |       |      |          |          |          |              |                  |      |      |   |
| 14              | Stair             | Casement  | 5'-4"  | 4'-0" | B    | Wd       | CLAD     | PTD      | CL, DL,      |                  |      |      |   |
| 15              | Master Sitting Rm | Casement  | 7'-0"  | 4'-0" | C    | Wd       | CLAD     |          | CL, DL,      |                  |      |      |   |
| 16              | Master Sitting Rm | Casement  | 8'-0"  | 4'-0" | C    | Wd       | CLAD     |          | CL, DL,      |                  |      |      |   |
| 17              | Master Bedroom    | Casement  | 8'-0"  | 5'-0" | C    | Wd       | CLAD     |          | CL, DL,      |                  |      |      |   |
| 18              | Master Bedroom    | Casement  | 2'-0"  | 3'-0" | A    | Wd       | CLAD     |          | CL, DL,      |                  |      |      |   |
| 19              | Master Bedroom    | Casement  | 2'-0"  | 3'-0" | A    | Wd       | CLAD     |          | CL, DL,      |                  |      |      |   |
| 20              | Master Bathroom   | Casement  | 5'-4"  | 4'-0" | B    | Wd       | CLAD     |          | CL, DL,      |                  |      |      |   |
| 21              | Master Closet     | Casement  | 2'-0"  | 3'-0" | A    | Wd       | CLAD     | ▼        | CL, DL,      |                  |      |      |   |

- GENERAL NOTES:**
- Safety glazing is required in windows within 24" of an adjacent door, with the exception of an intervening wall. Refer to the floor plan; windows designated with a "T" following the window number are to comply with the safer glazing requirements, locations and labeling per CRC R308.
  - Window unit sizes are approximate dimensions - field verify unit sizes
  - All windows to be dual glazing, with low-e coating
  - SEE ELEVATIONS FOR OPERATION
  - Vinyl, or composite windows; contractor to coordinate weatherization methods w/ window manufacture and best practices for Ty-vek or approved equal building wrap.
  - Exterior windows and window walls shall be dual glazed with a minimum of one tempered pane, or be glass block units, or be 20 minute fire rated.
  - All windows must satisfy the thermal performance noted in the energy report on sheet T002; U-factor = 0.32 and a SHGC = 0.25
  - The NFRC thermal performance labels shall remain on windows until final inspection.

**ABBREVIATIONS:**

|                 |   |                                   |
|-----------------|---|-----------------------------------|
| ANDZ - Anodized | DL - Dual glazed                                  | ST - Stained                      |
| STL - Steel     | PTD - Painted                                     | CLAD - Aluminum clad              |
| BL - Bleached   | OBS - Obscure glazing                             | TEMP - Tempered safety glazing    |
| CL - Clear      | SNG - Single glazed                               | VGDF - Vertical Grain Douglas Fir |
| GLZ - Glazing   | LAM - 1/4" thick minimum laminated safety glazing |                                   |



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PROJECT: **DEL MAR REMODEL**  
1211 DEL MAR  
SANTA BARBARA, CA 93109

APN : 045-213-003

**ISSUED:**

- 2018-12-21 SFDRB Concept Sub.
- 2019-04-11 SFDRB Concept reSub.
- 2019-07-22 Planning Review
- 2019-10-24 SFDRB Design & Final Sub.

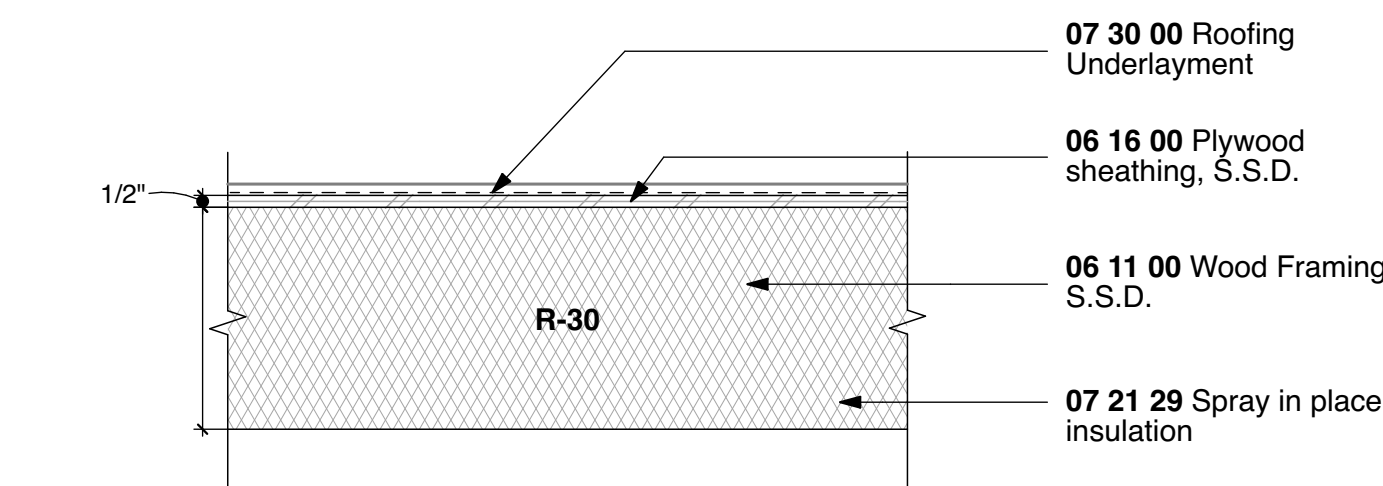
PRINTED 10/23/19

JOB NUMBER: **1806**

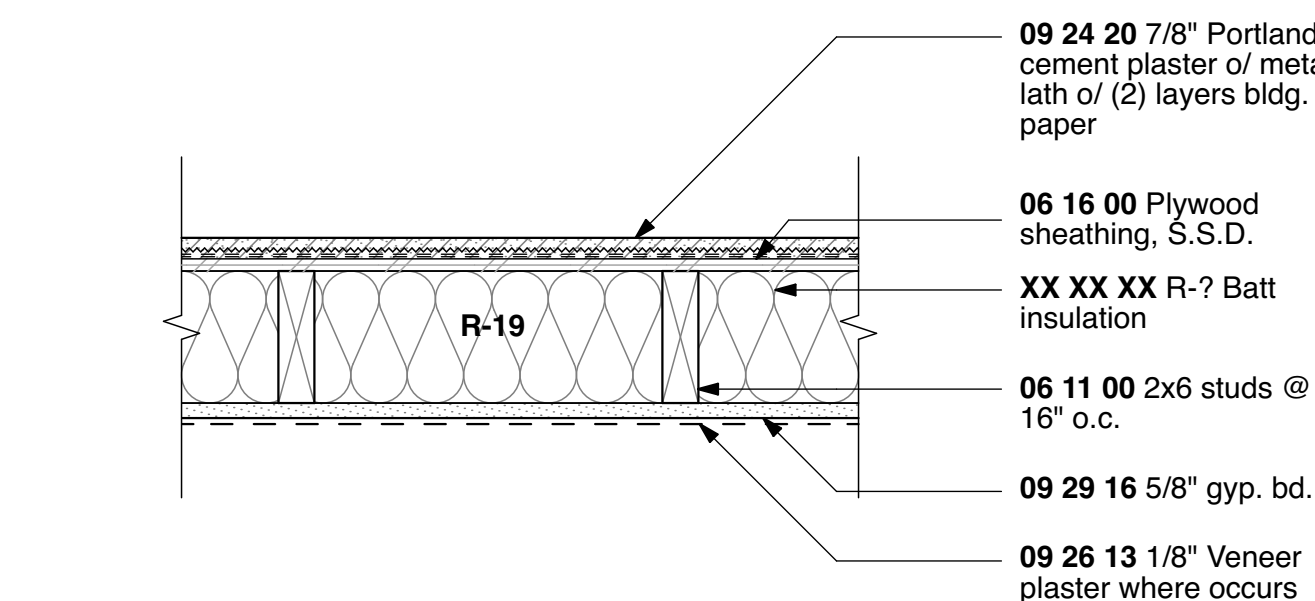
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OF: **24**

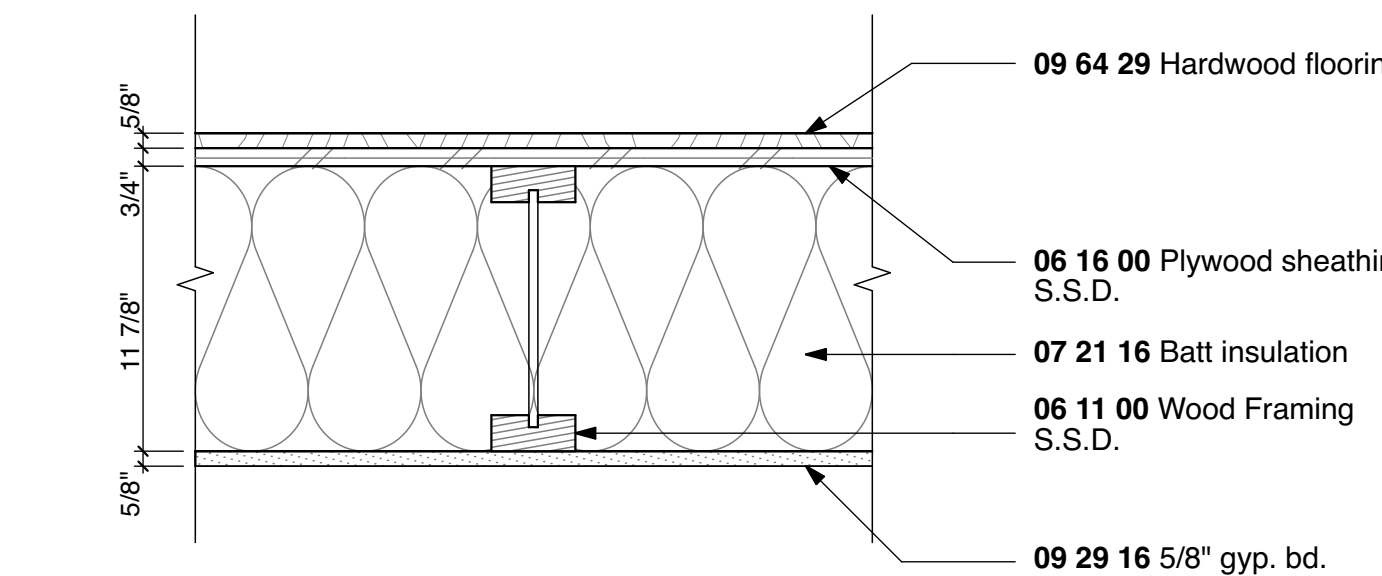




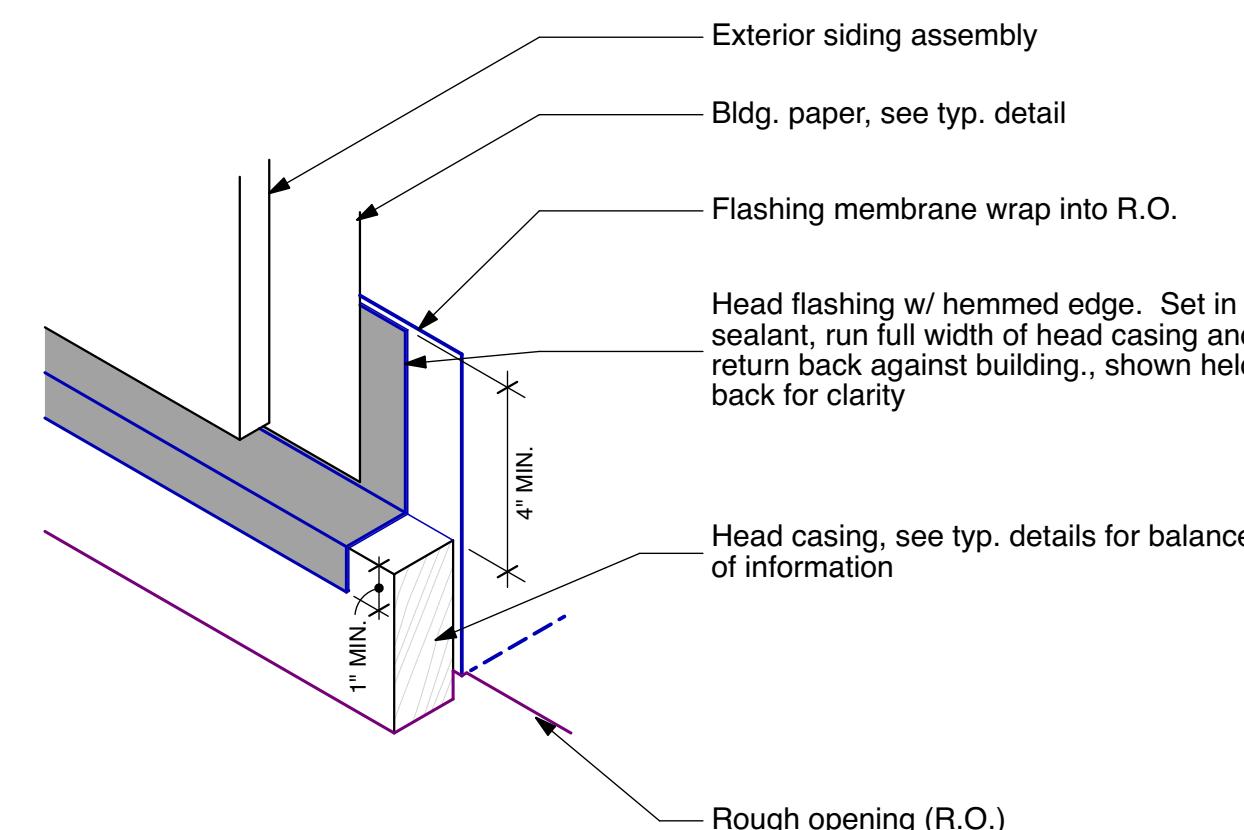
**1 ROOF TYP.**



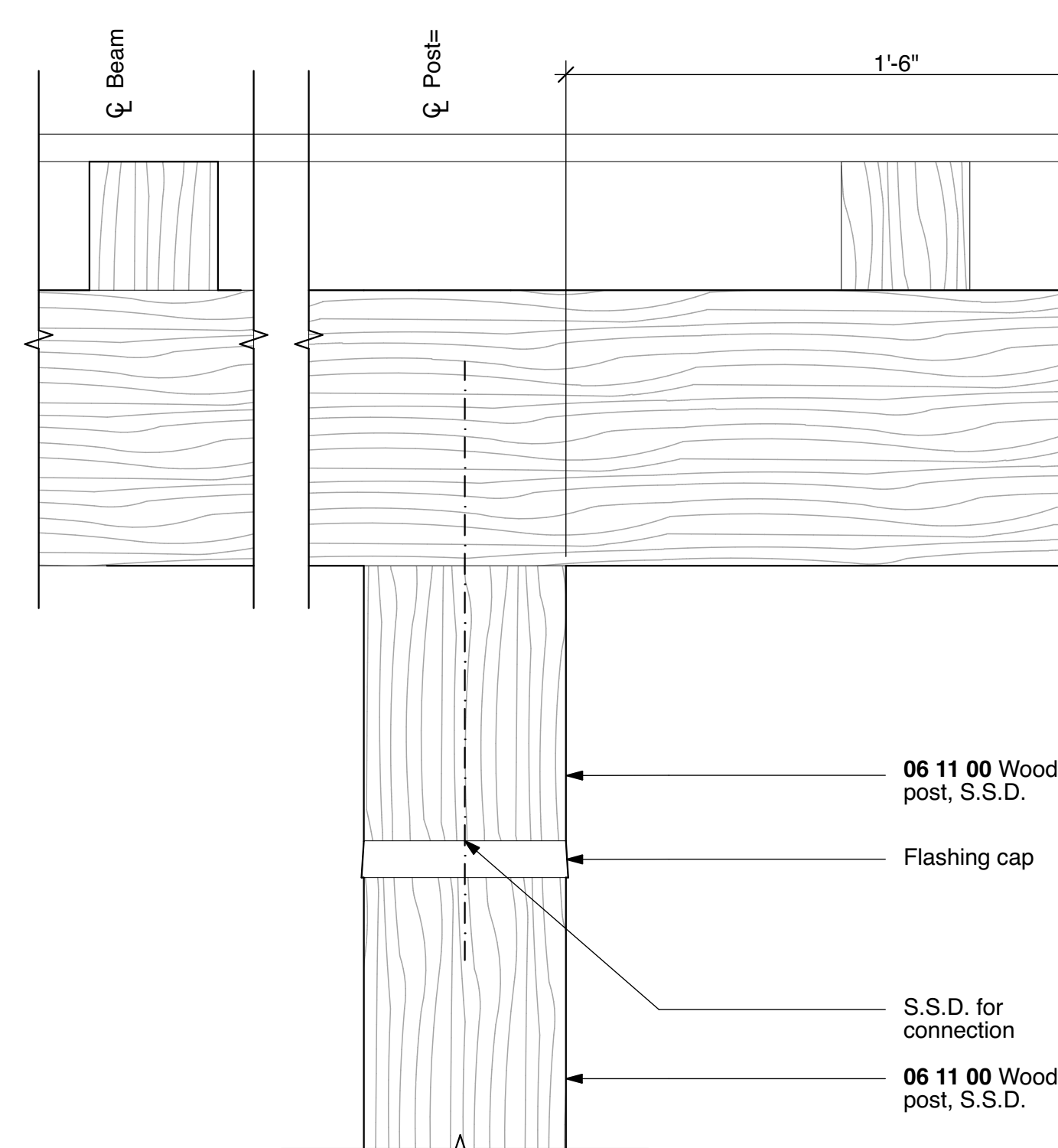
**1 Wall Types**



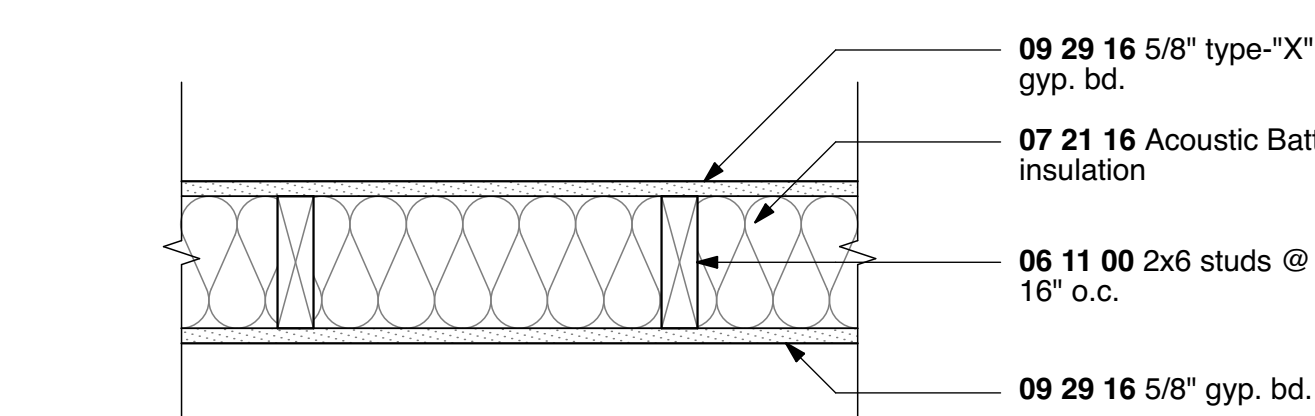
**A WOOD FLOOR O/ JOIST**



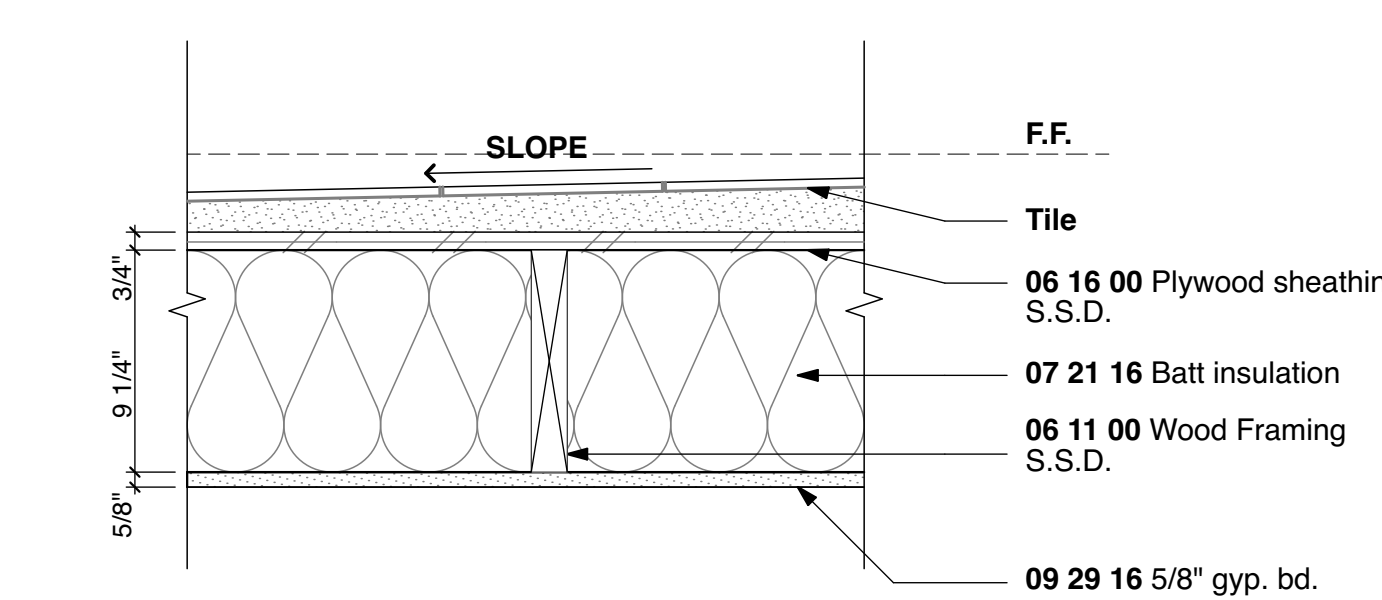
**14 TYP. DOOR/ WINDOW/ HEAD FLASHING**  
NOT TO SCALE



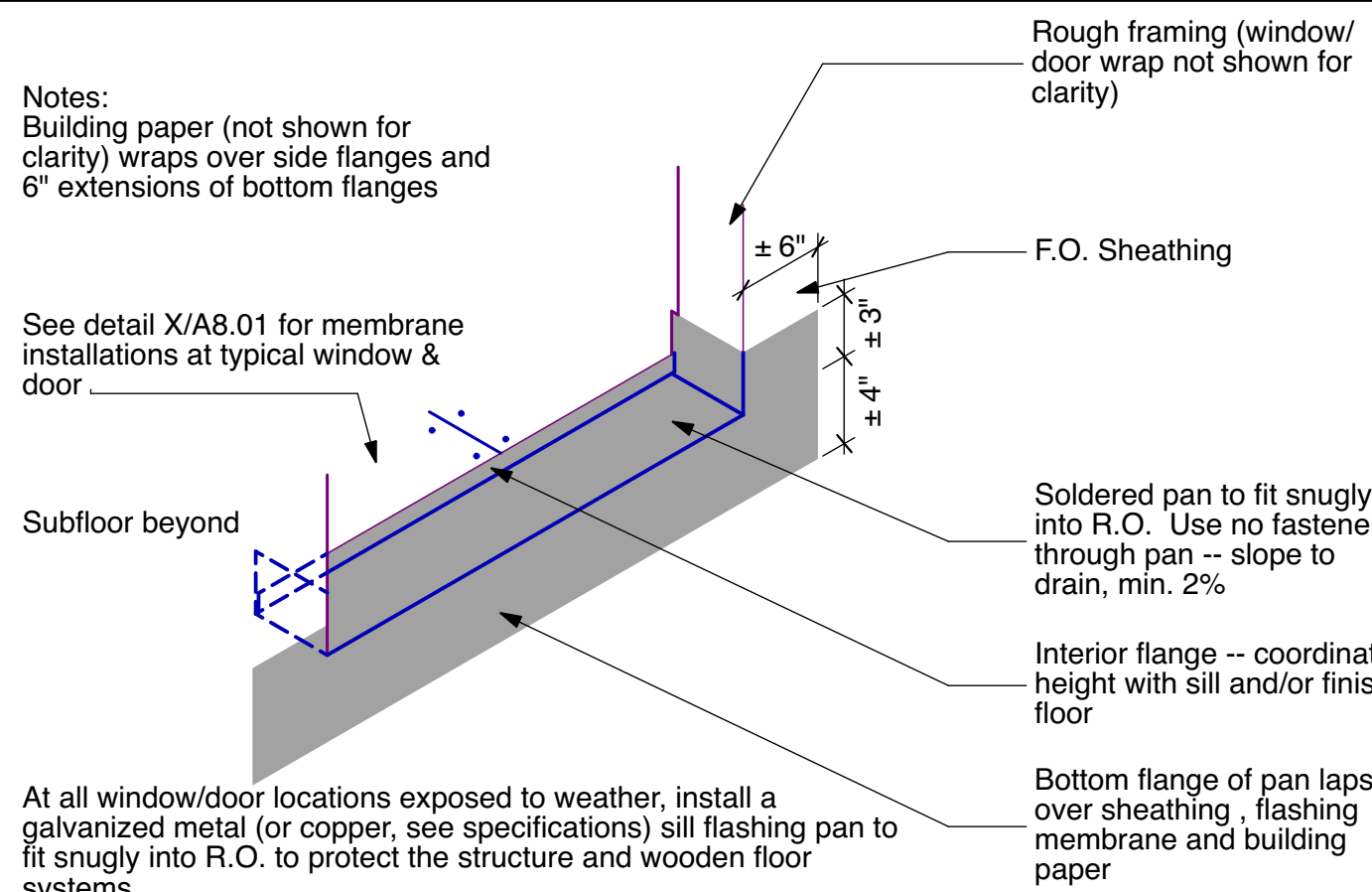
**10 TRELLIS @ POST**  
SCALE: 3" = 1'-0"



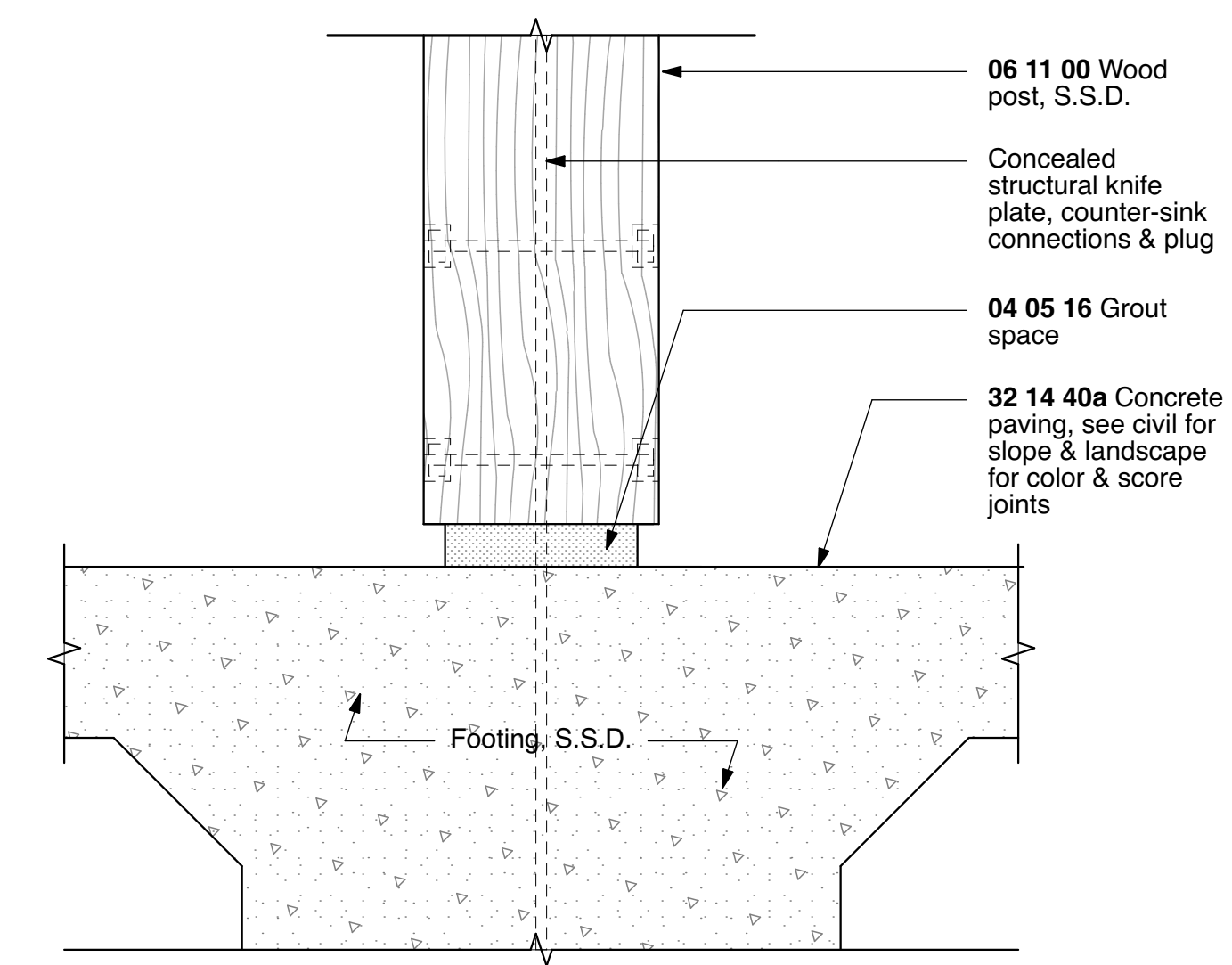
**2 INTERIOR GYPSUM BOARD FINISH**



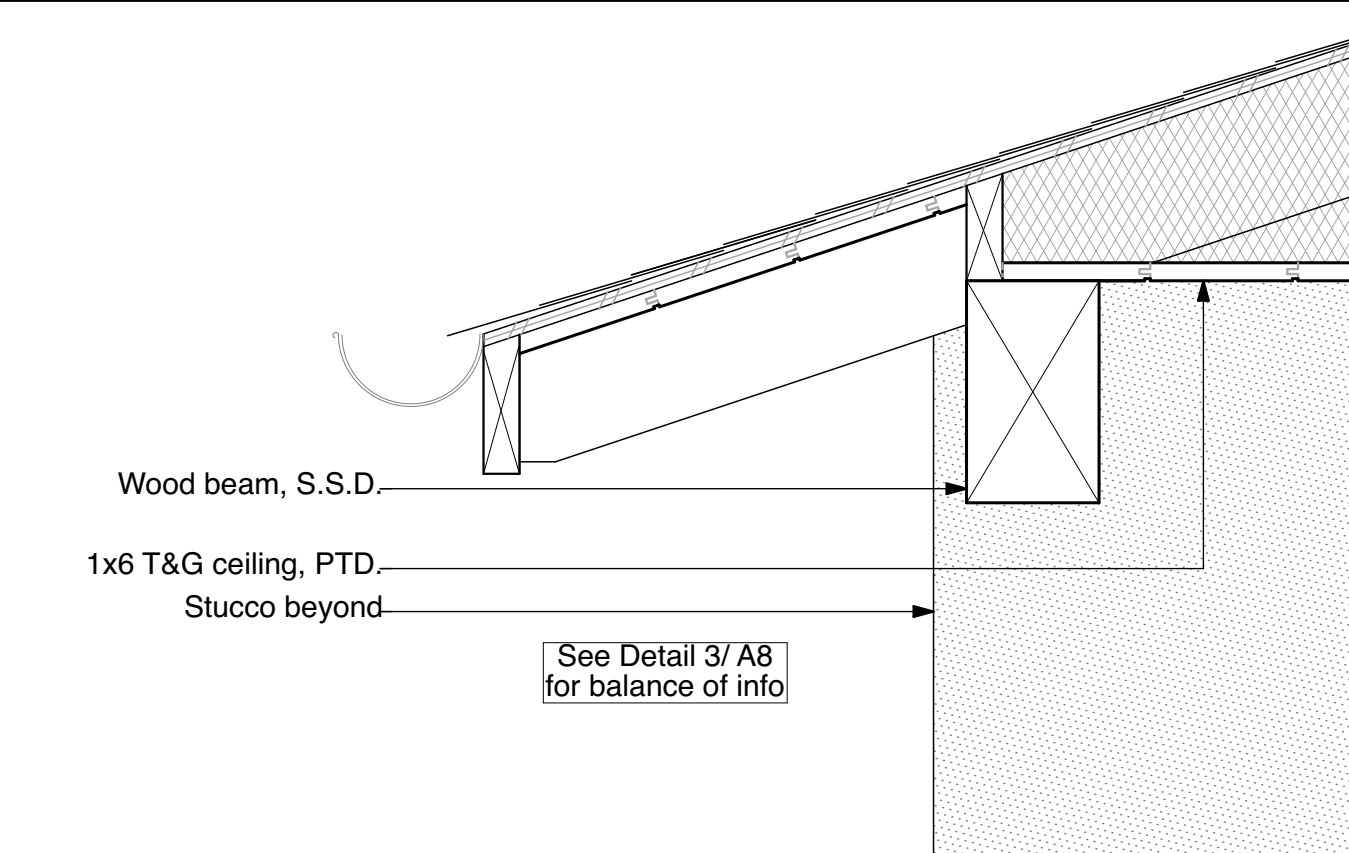
**B WOOD DECK O/ JOIST**



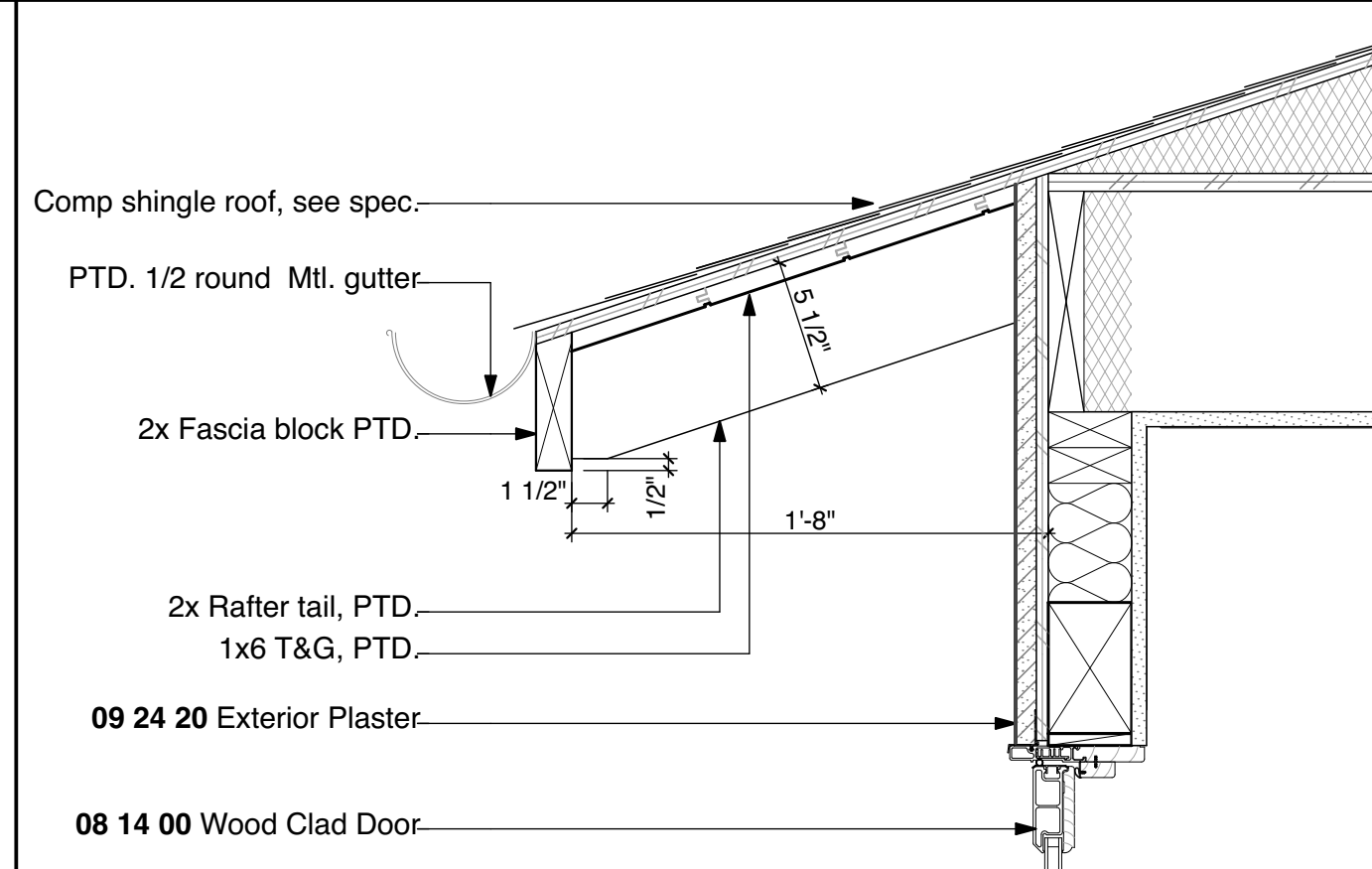
**15 TYP. PAN FLASHING**  
NOT TO SCALE



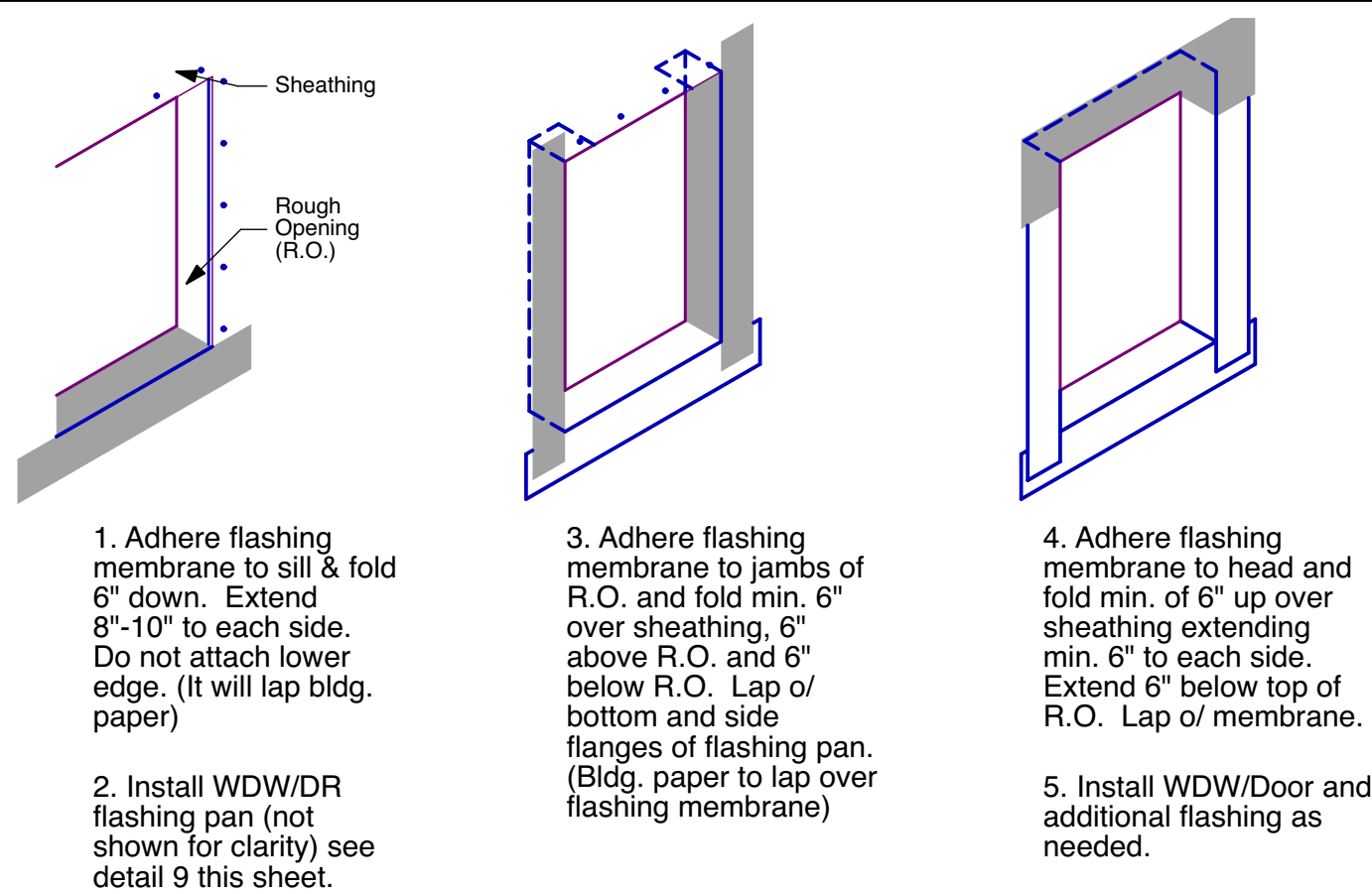
**11 POST BASE @ TRELLIS**  
SCALE: 3" = 1'-0"



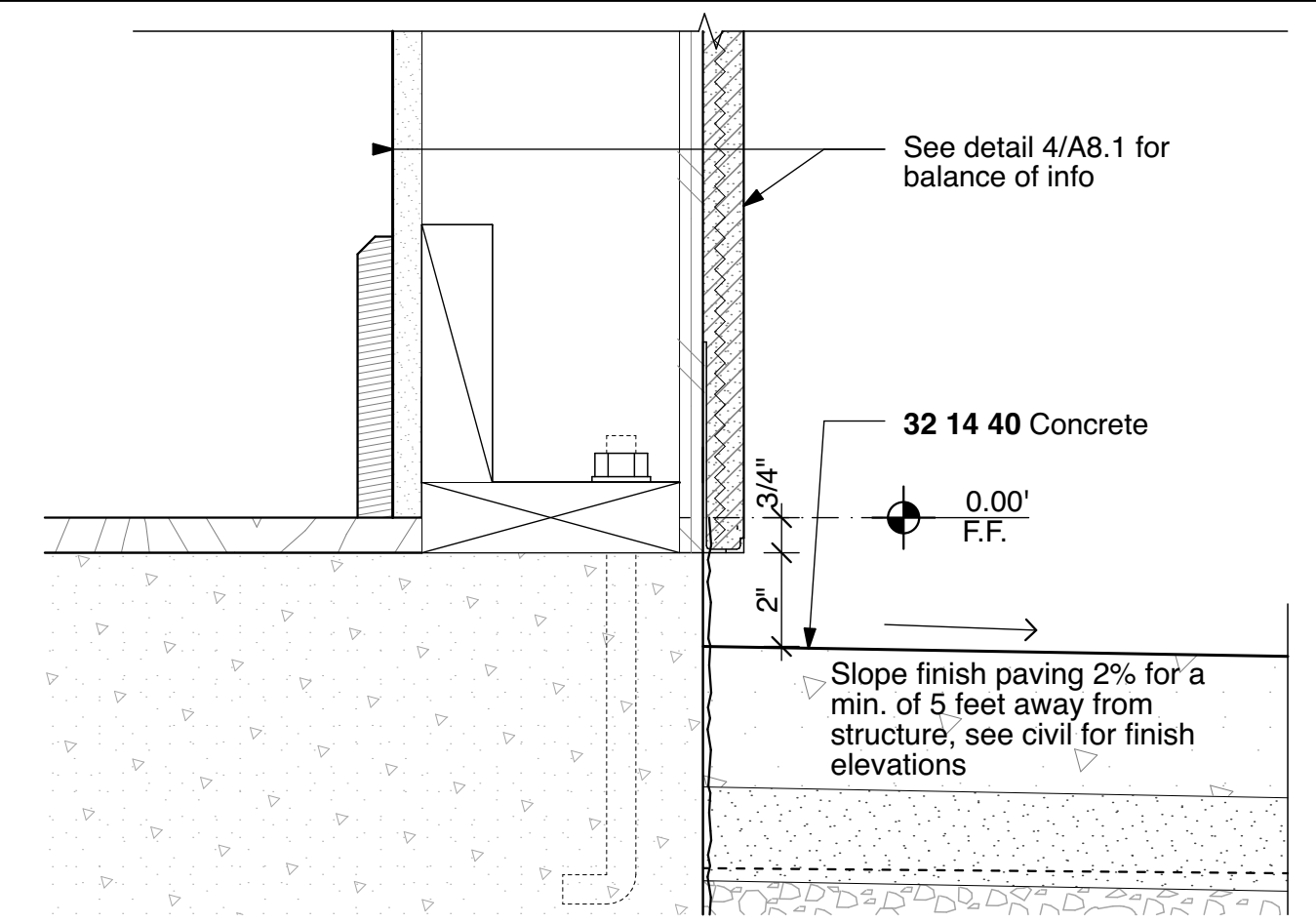
**7 EAVE @ PORCH**  
SCALE: 1 1/2" = 1'-0"



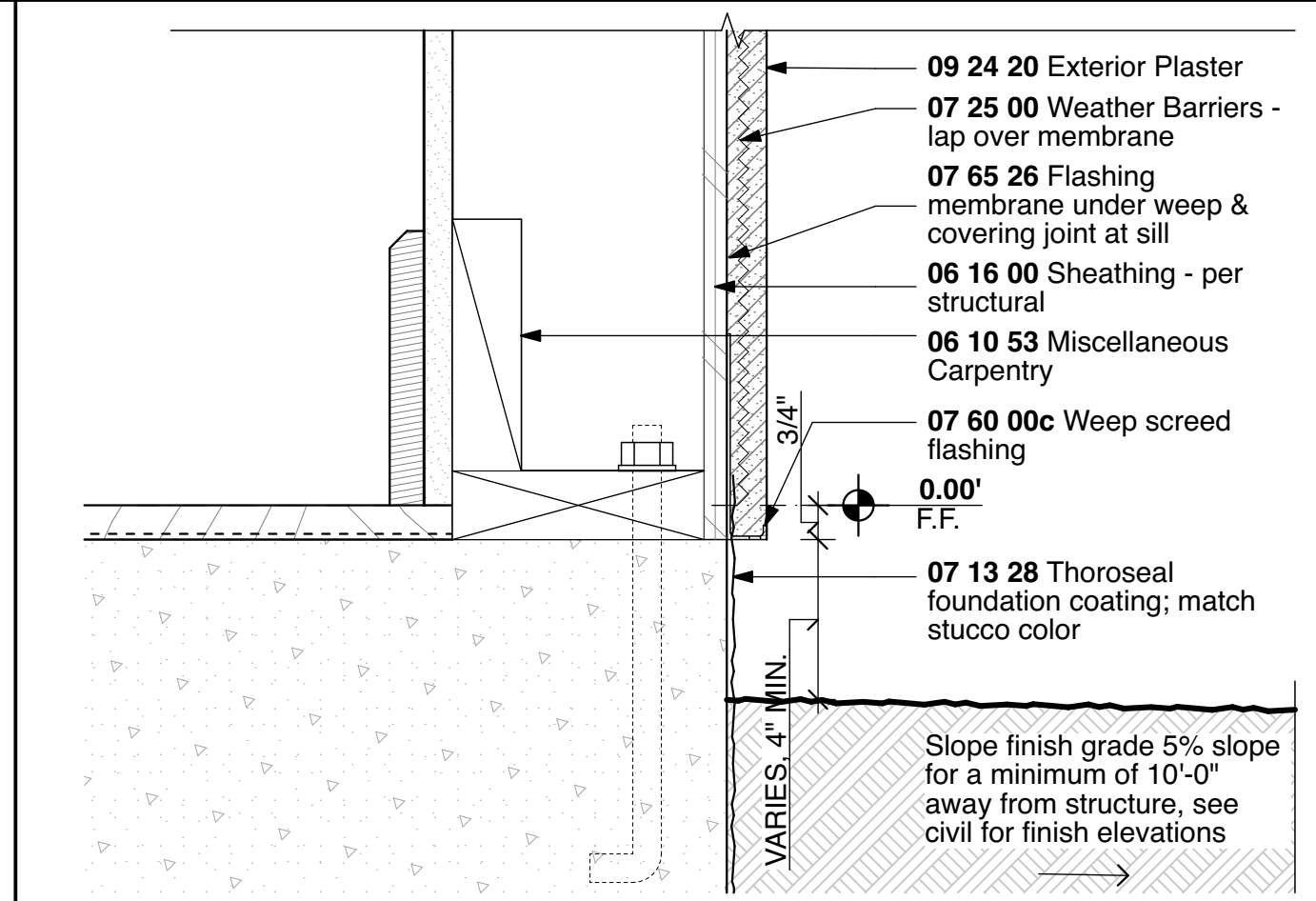
**3 EAVE TYP.**  
SCALE: 1 1/2" = 1'-0"



**16 TYP. FLASHING**  
NOT TO SCALE

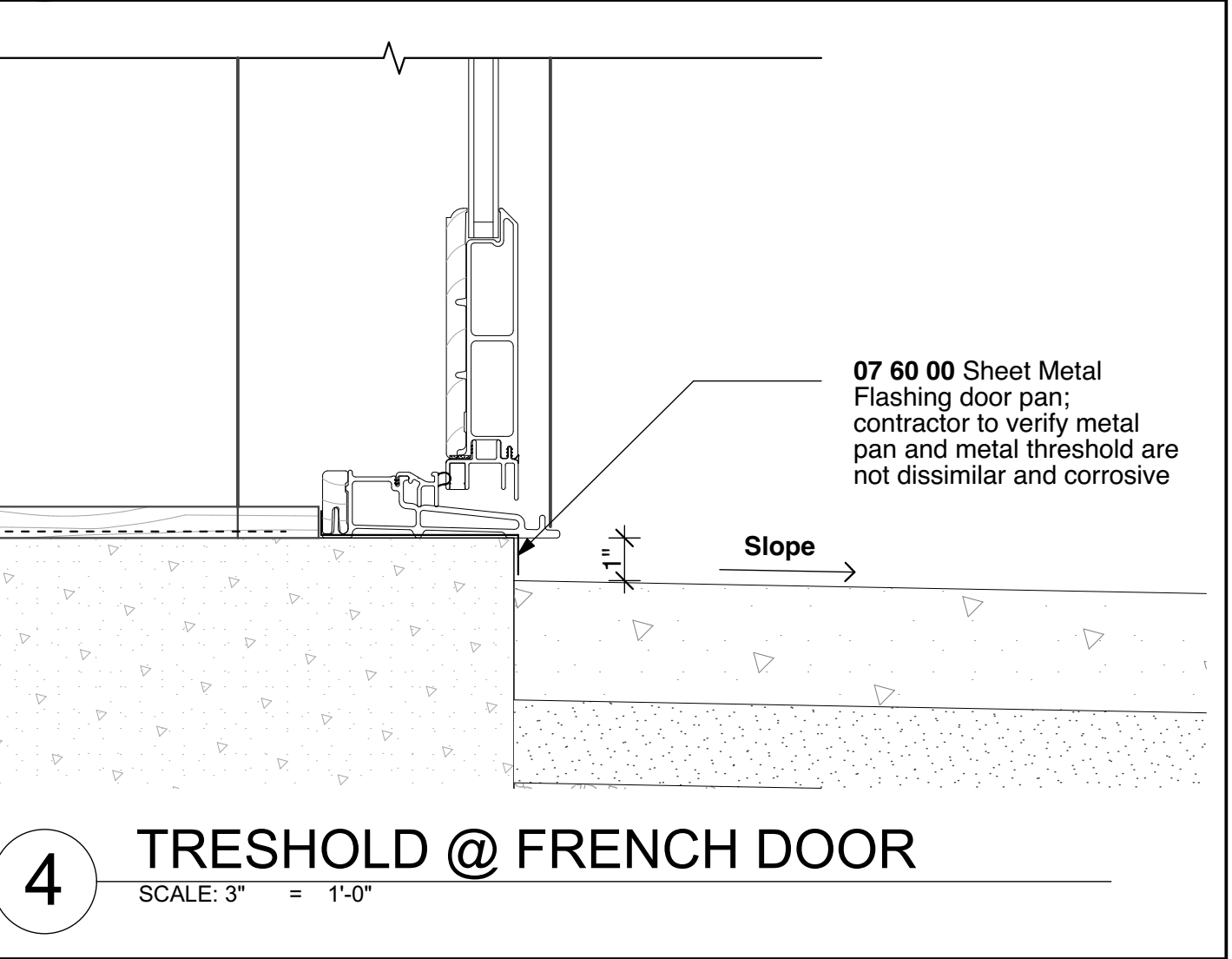
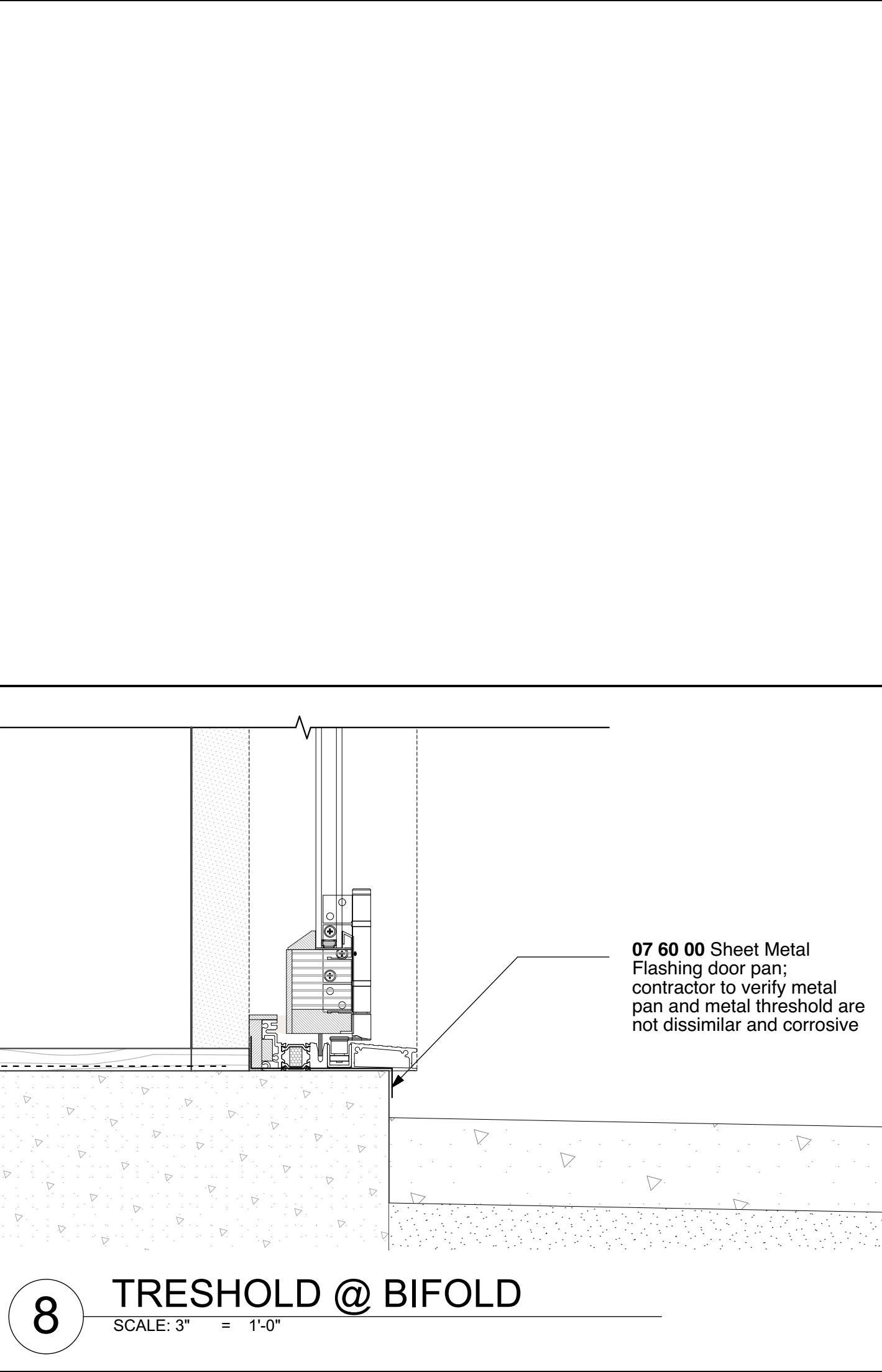
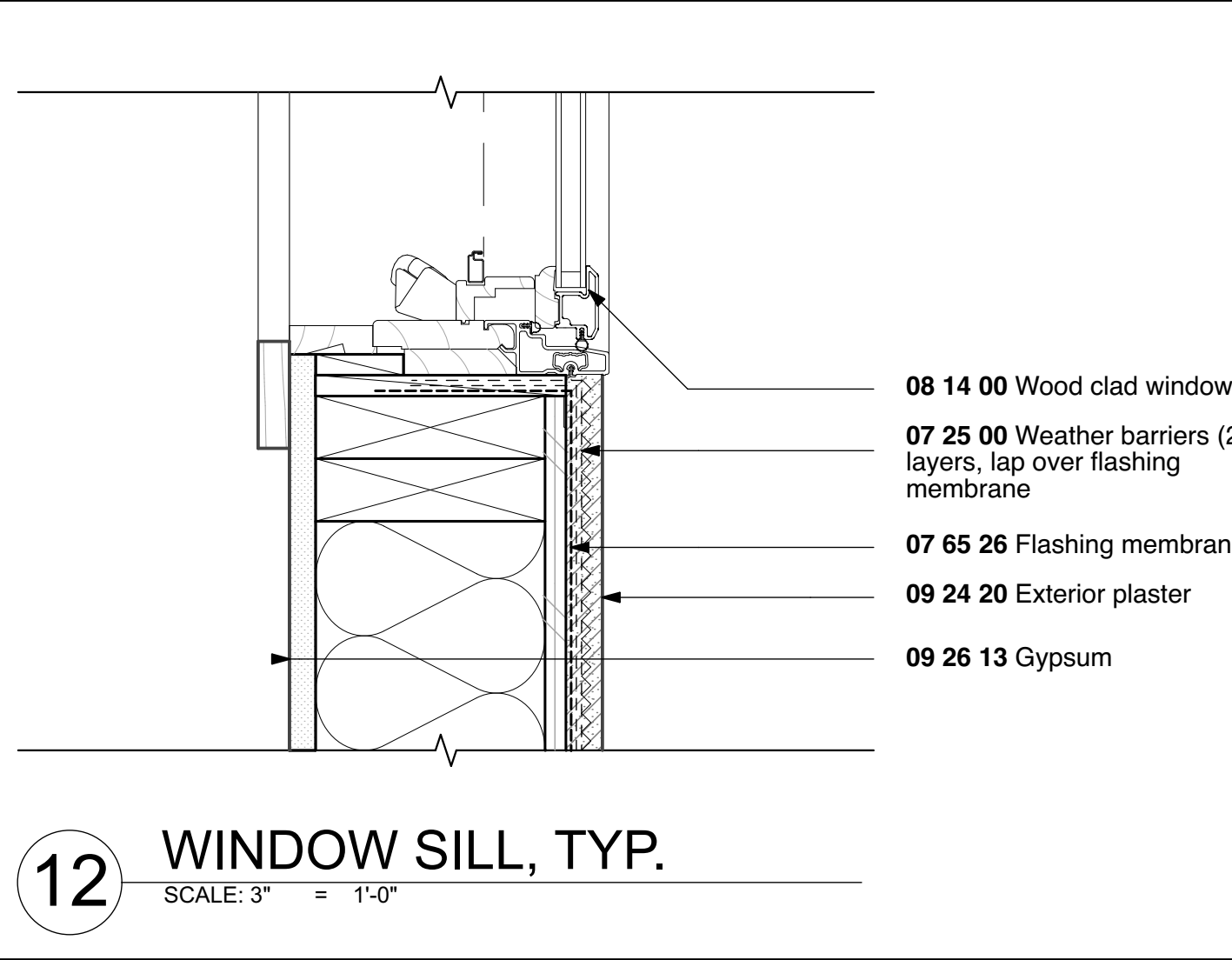
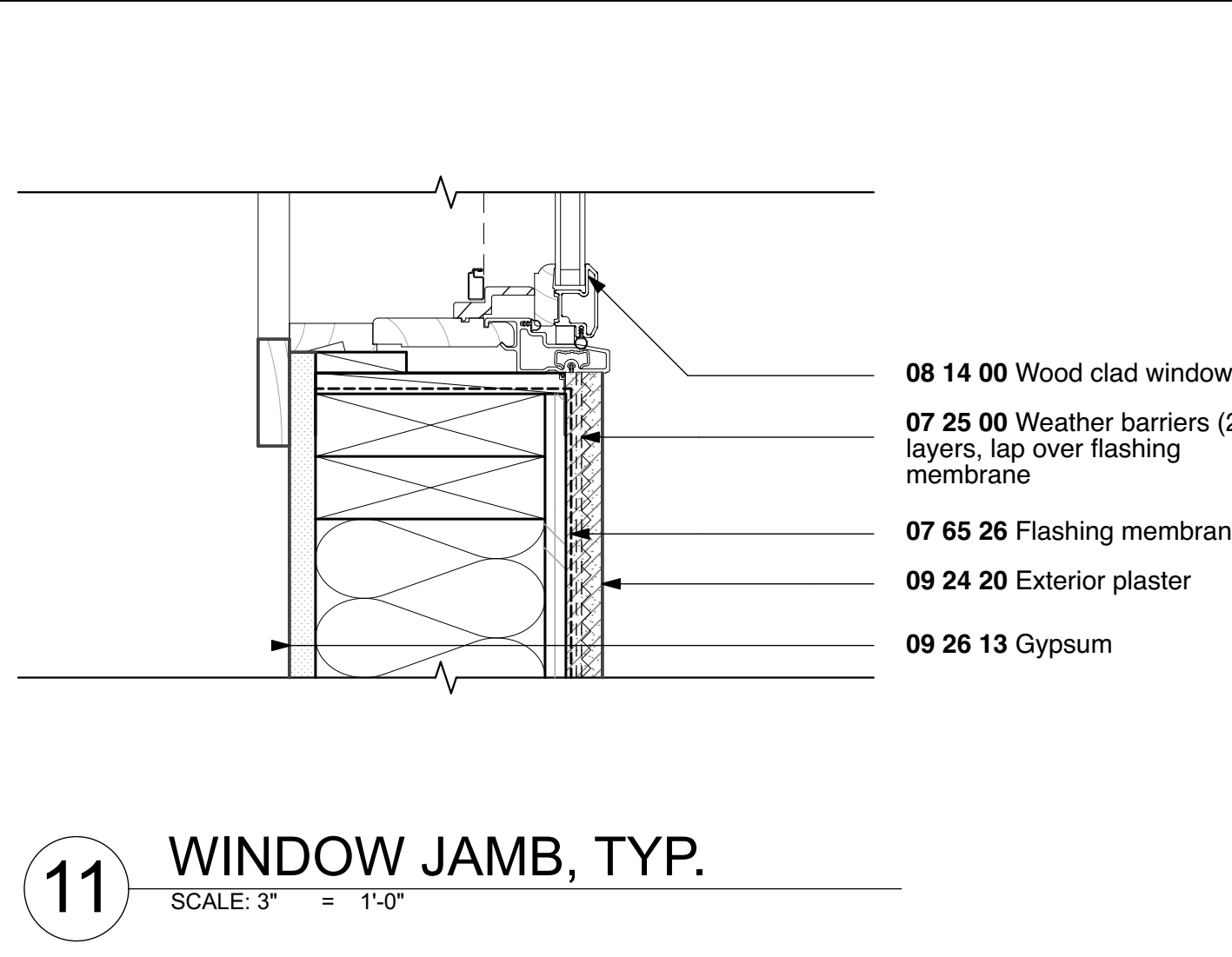
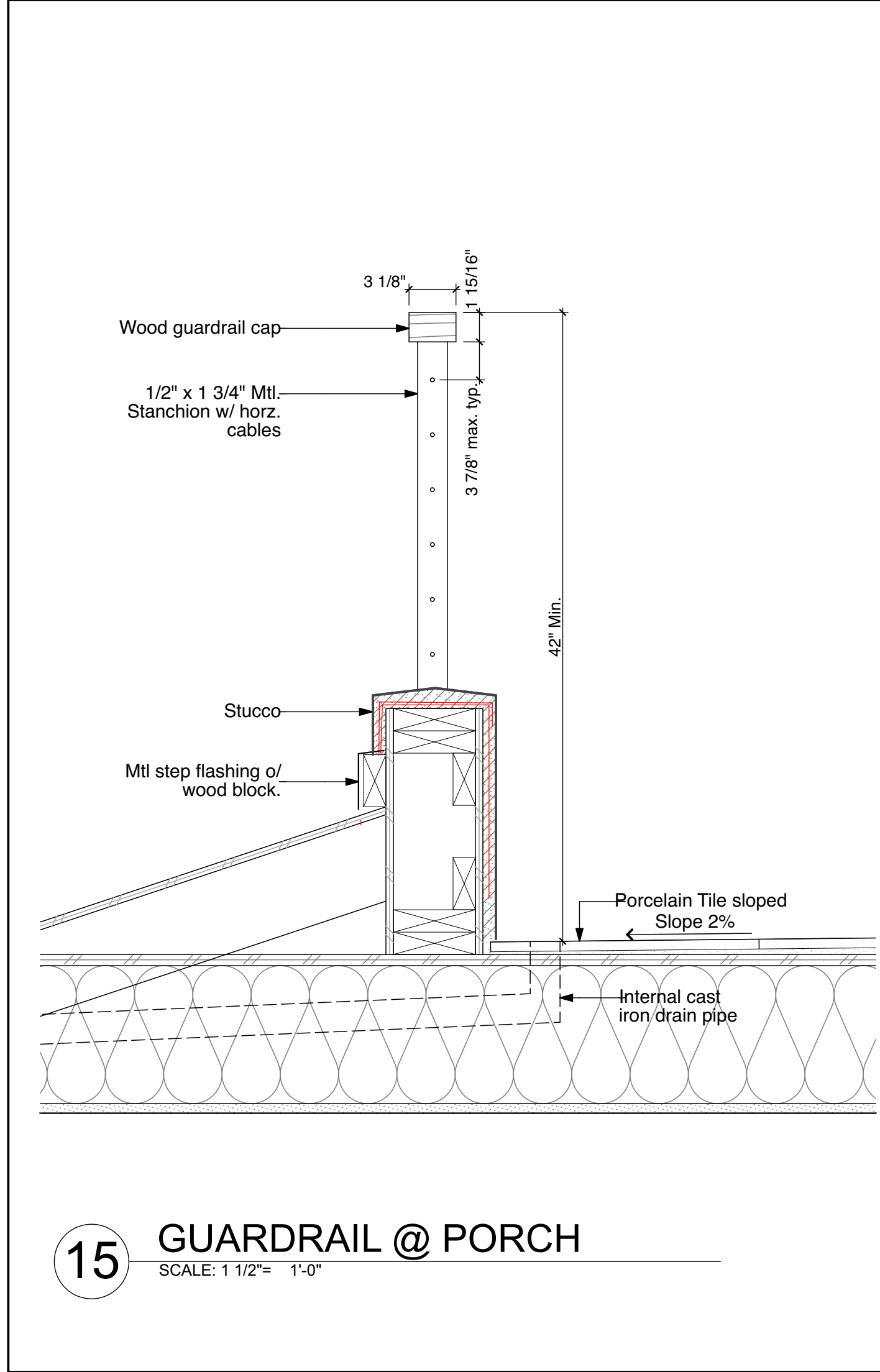
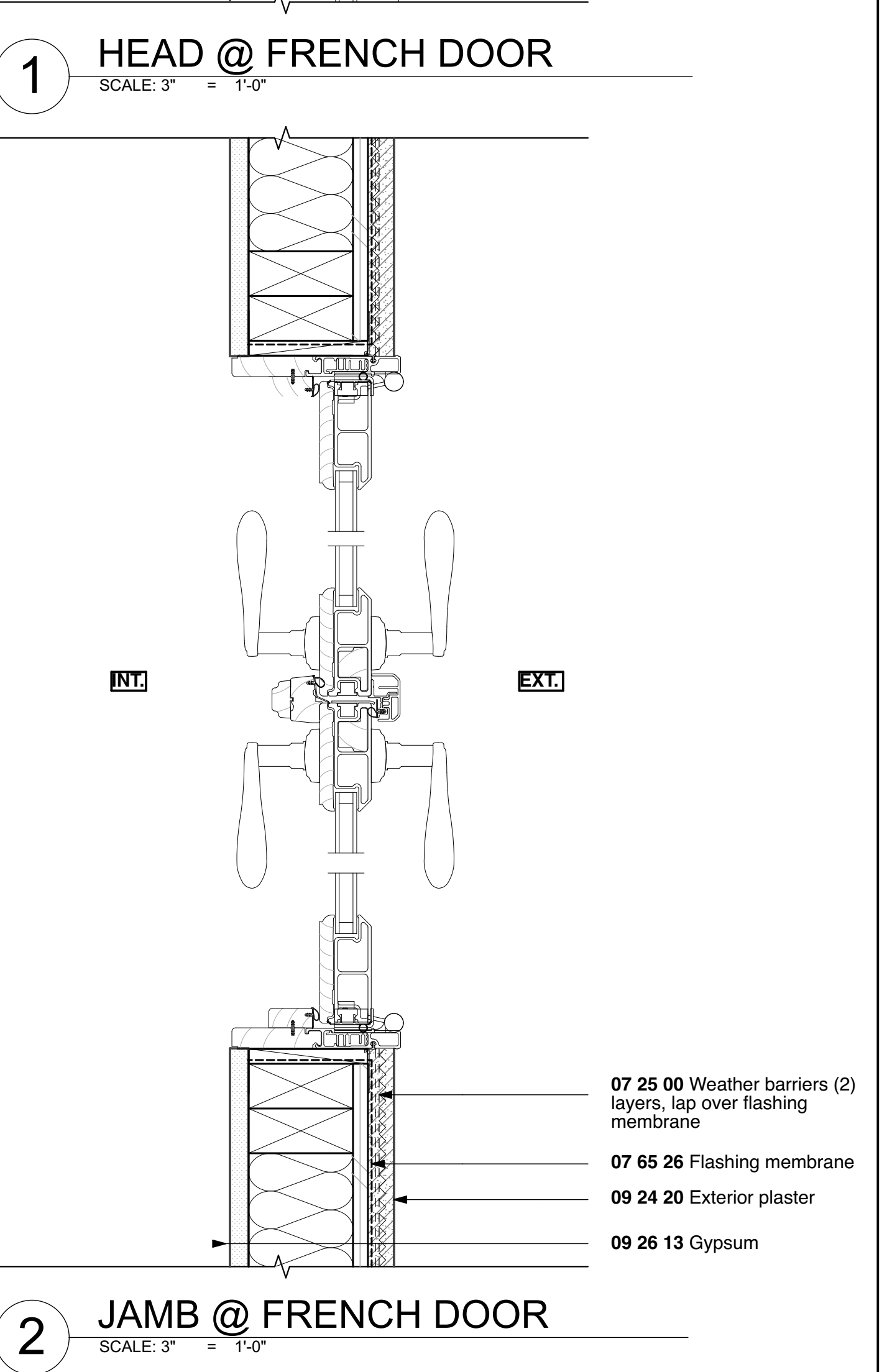
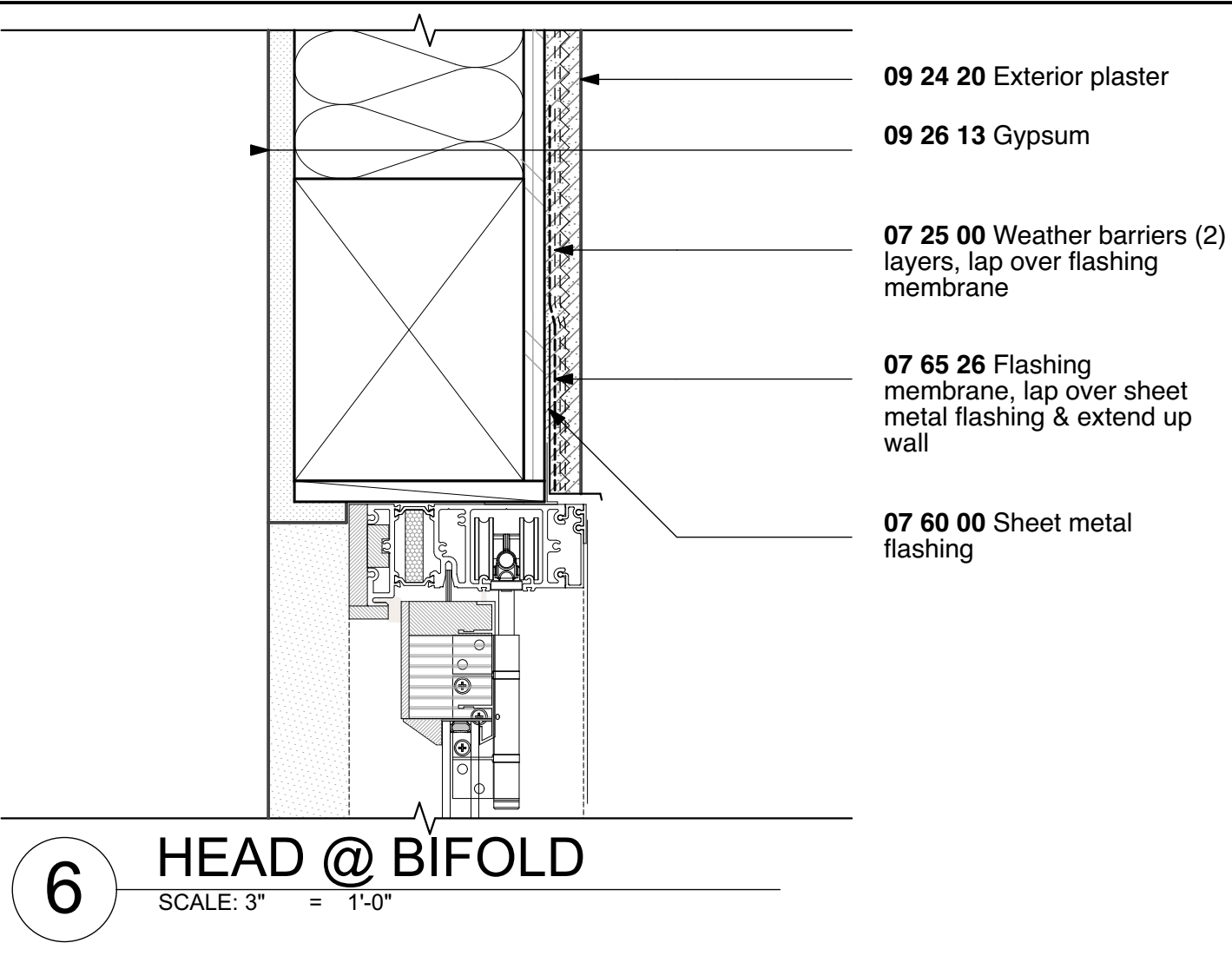
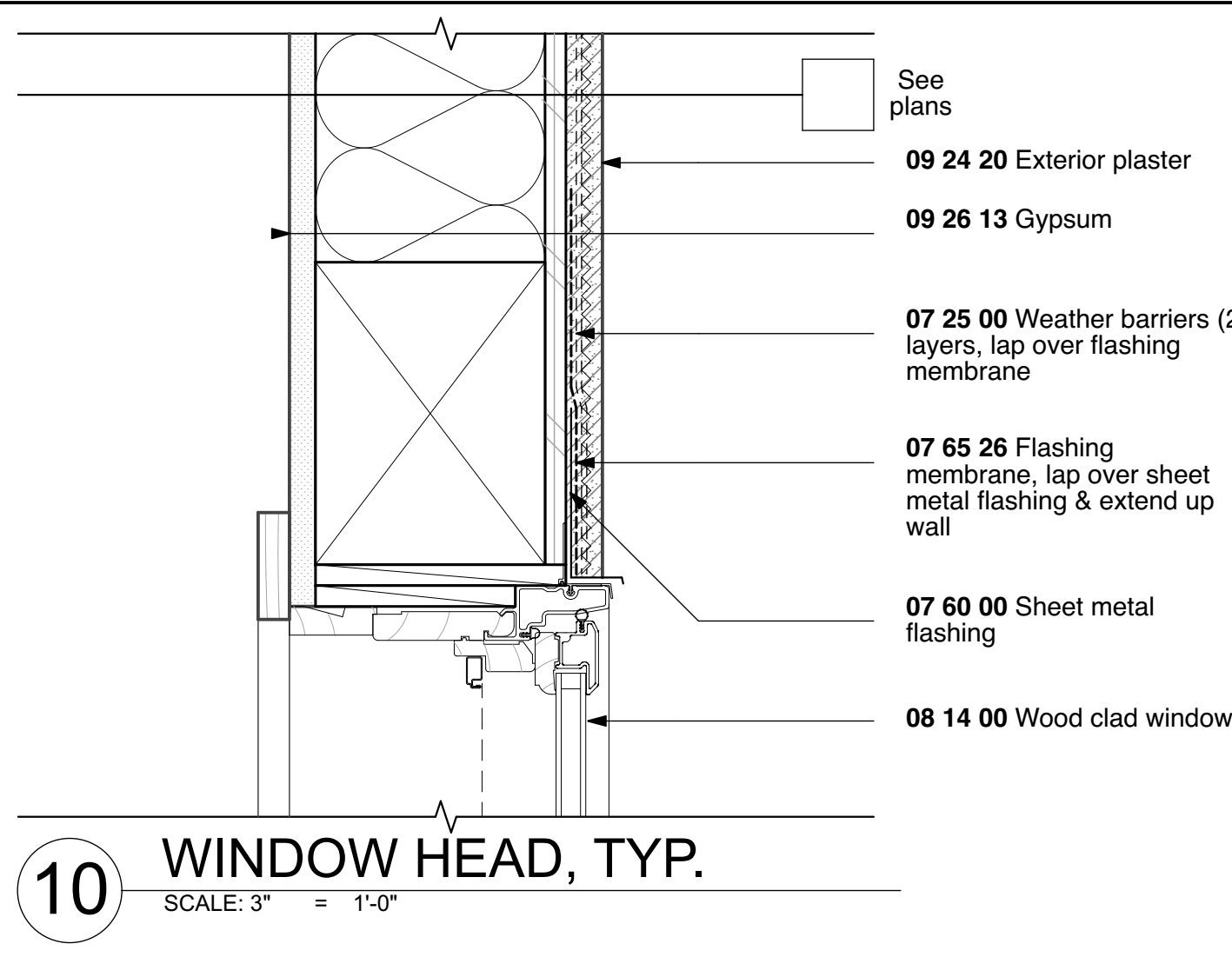
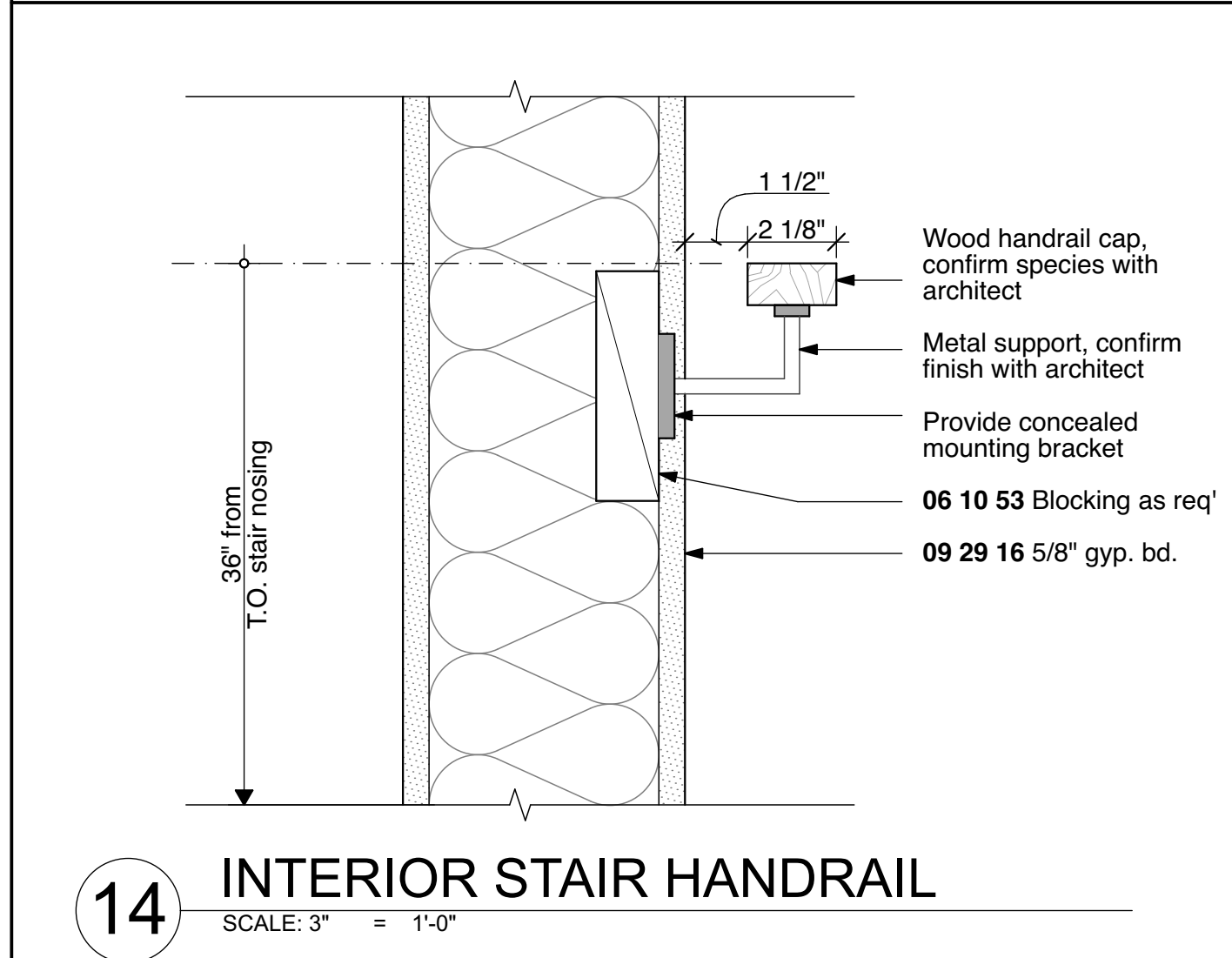
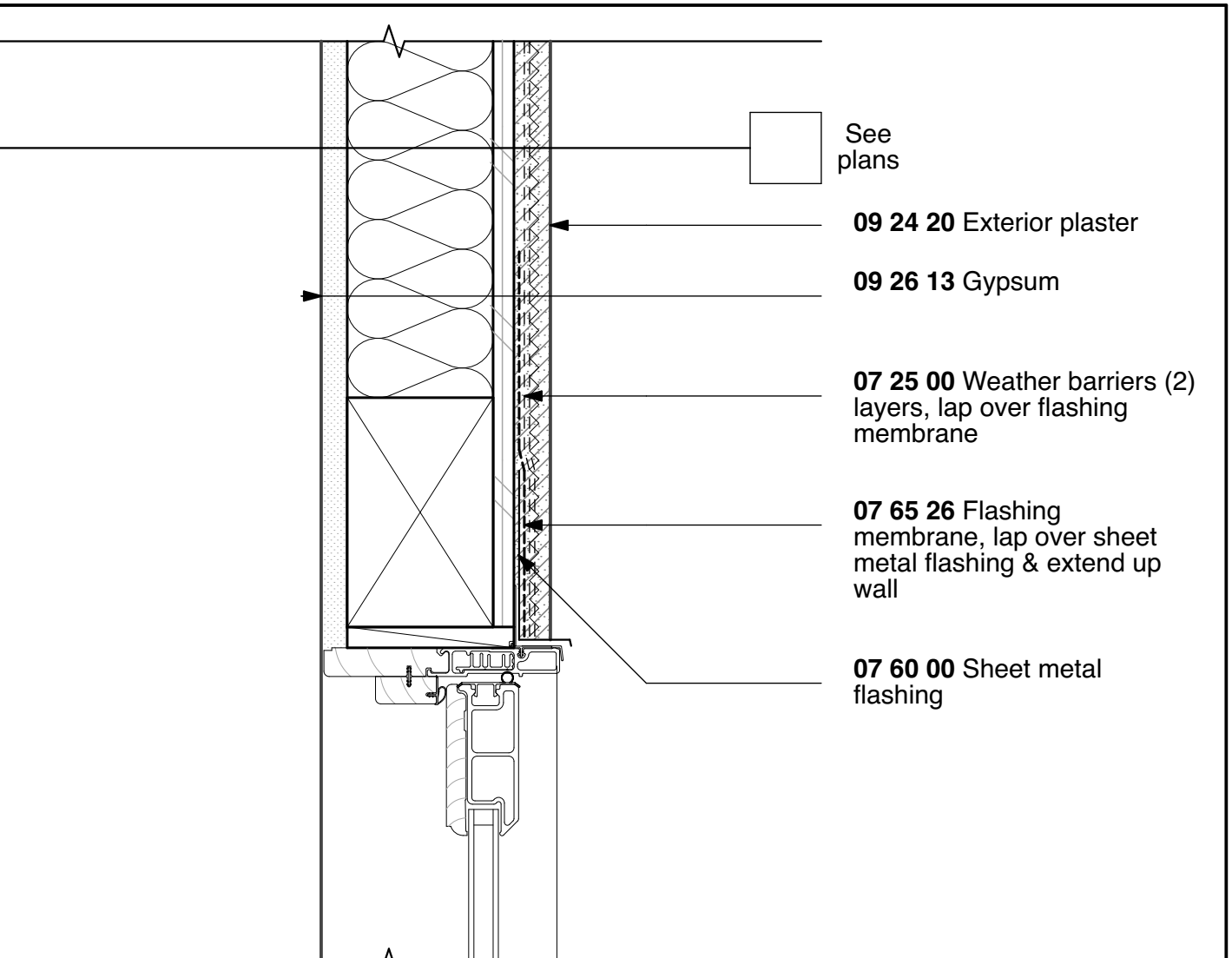
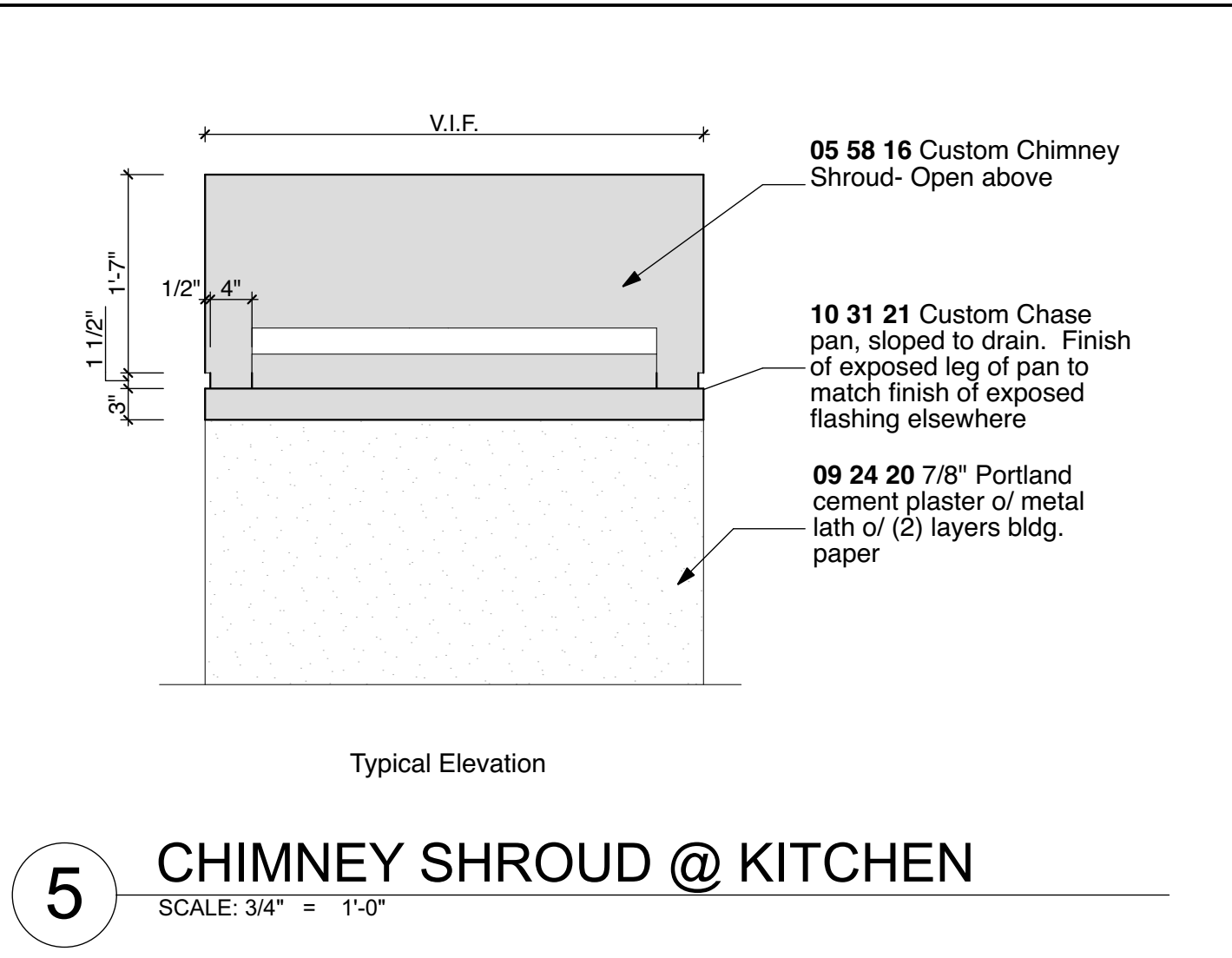
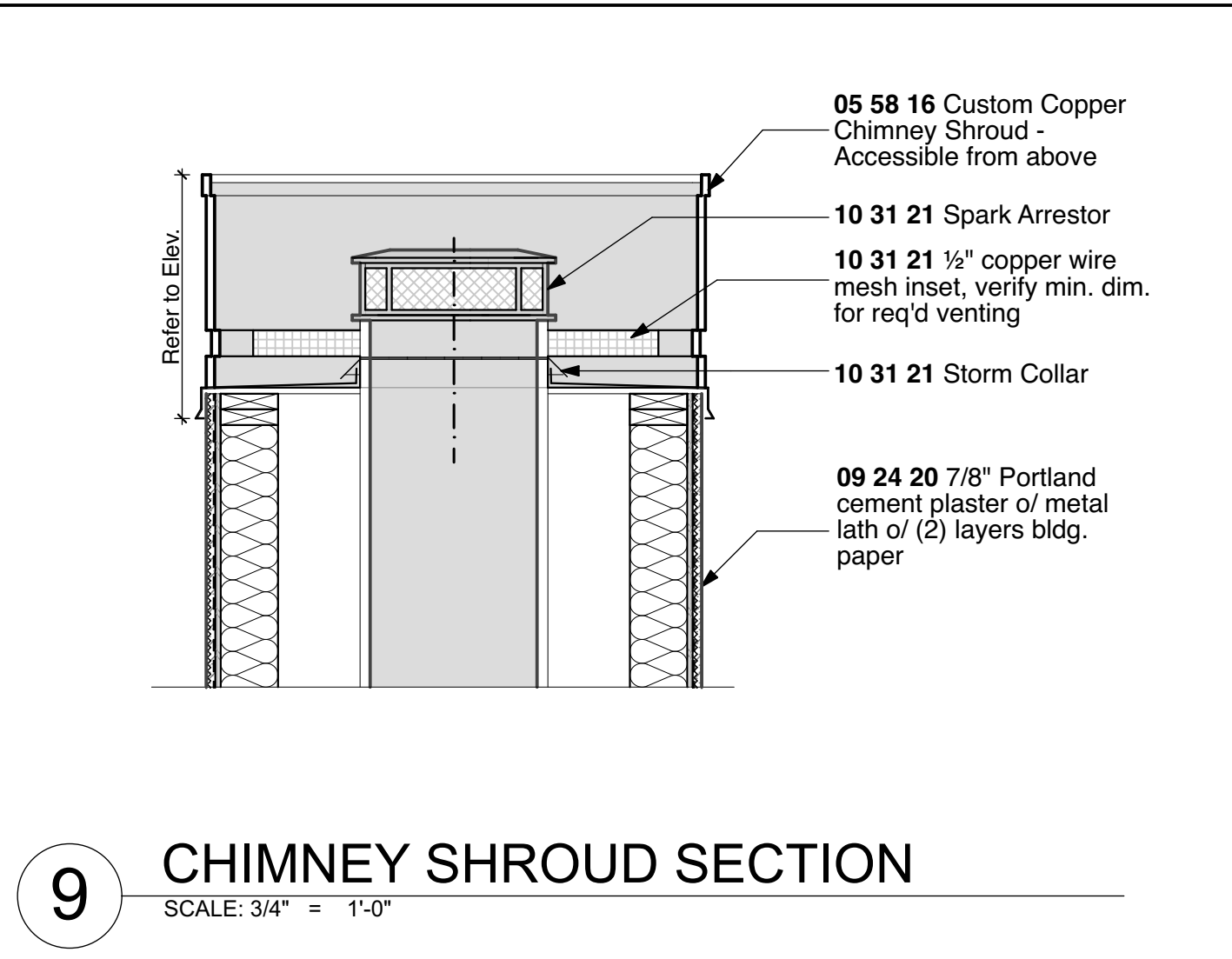
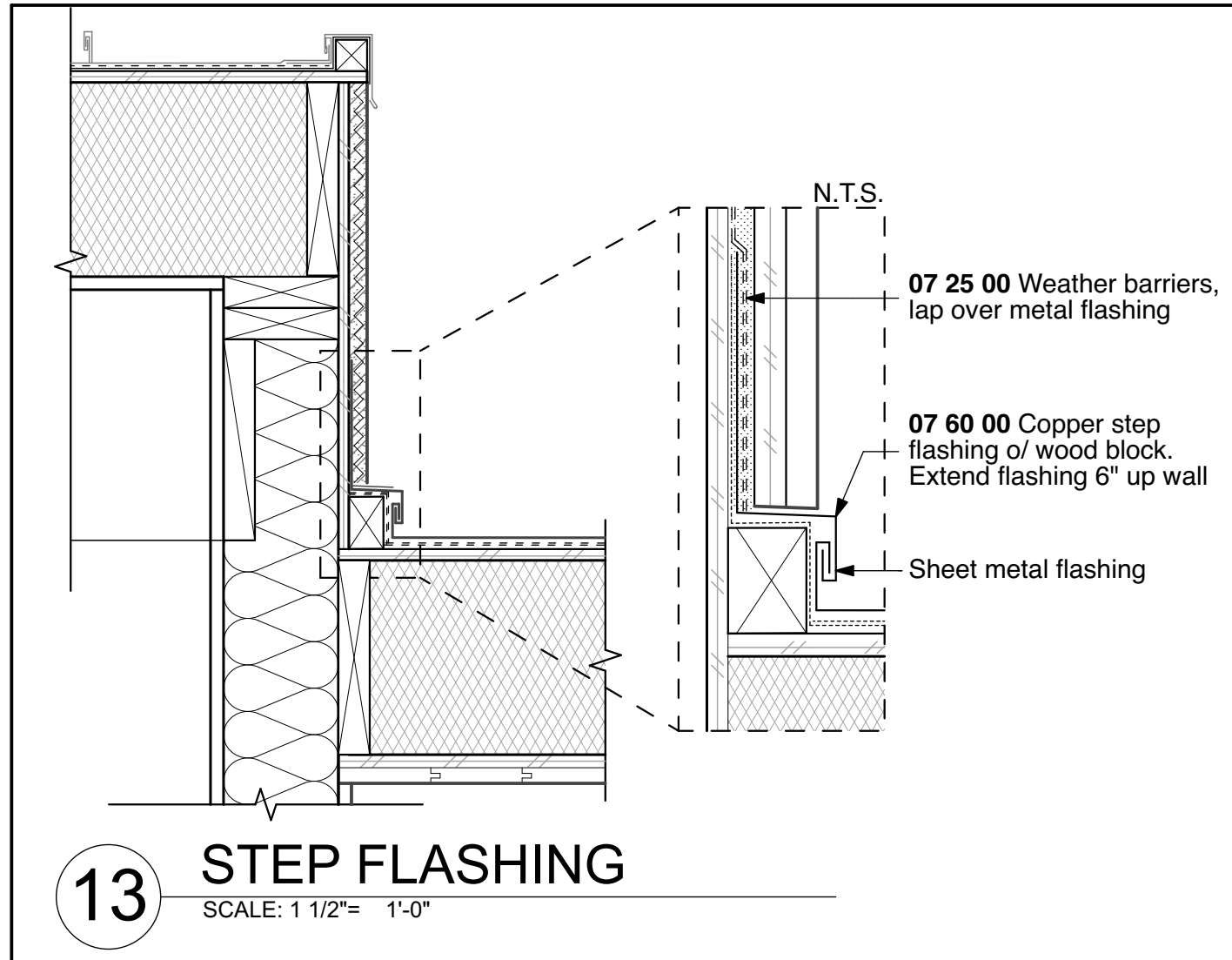


**8 WEEP @ PATIO**  
SCALE: 3" = 1'-0"

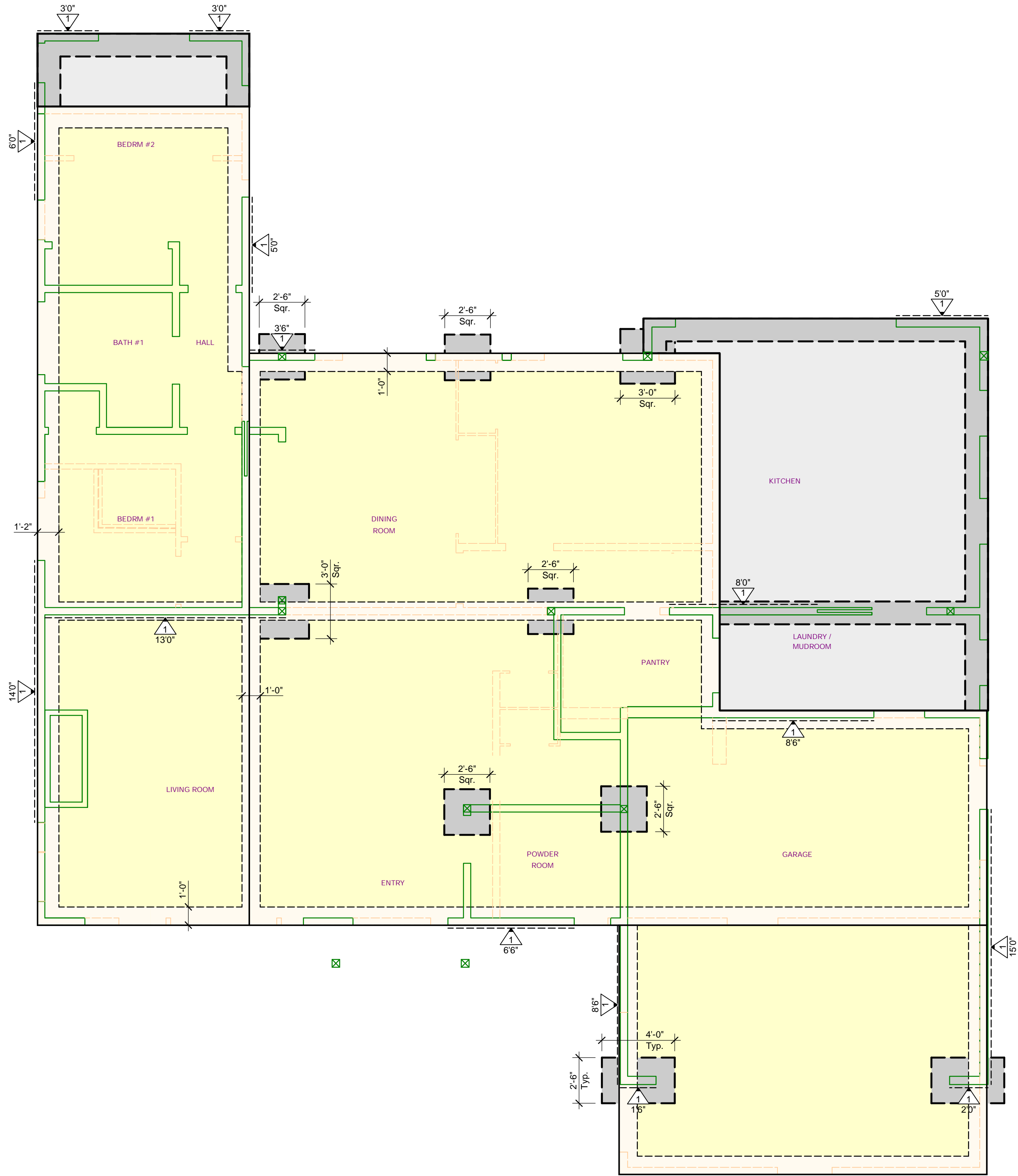


**4 WEEP @ GRADE**  
SCALE: 3" = 1'-0"









GENERAL FOUNDATION NOTES

Please see Soils Report for additional specifications and recommendations. It is the contractor's responsibility to obtain a copy of the soils report from the owner or owners representative. Prior to the contractor requesting a Building Department foundation inspection, the Soils Engineer shall advise the building inspector in writing that:

a) Building pad was prepared in accordance with soils report  
b) Utility trenches have been properly backfilled and compacted, and  
c) Foundation excavations, the soil's expansive characteristics and bearing capacity conform to the soils report.

See General Notes & Specifications for additional requirements and material specifications.  
All dimensions per Architectural plans  
Contractor to VERIFY all dimensions w/ Architectural plans PRIOR to commencement of construction.  
Contractor shall verify all existing conditions prior to construction & contact Engineer and Architect regarding any discrepancies.

EXISTING BUILDING NOTES

All As-Built Structural Information Taken From Archived Plans by Tam Shea Design, dated 07-19-2016.

HOLDOWN SCHEDULE

| TYPE | HOLDOWN <sup>1</sup> | MIN. POST | ANCHOR / EMBEDMENT     | DETAILS  |
|------|----------------------|-----------|------------------------|----------|
| A    | CS14                 | (2) 2x    | N/A                    | XX/S-3.2 |
| B    | CMSTC16              | (2) 2x    | N/A                    | XX/S-3.2 |
| C    | CMST14               | 4x6       | N/A                    | XX/S-3.2 |
| D    | CMST12               | 4x6       | N/A                    | XX/S-3.2 |
| E    | MSTC66B3             | (2) 2x    | N/A                    | XX/S-3.2 |
| 1    | HDU4                 | (2) 2x    | SSTB24 / 21" Min.      | XX/S-3.1 |
| 2    | HDU8                 | 4x6       | SSTB28L / 25" Min.     | XX/S-3.1 |
| 3    | HDU11                | 6x6       | SB1x30 / 24" Min.      | XX/S-3.1 |
| 4    | HDU14                | 6x6       | SB1x30 / 24" Min.      | XX/S-3.1 |
| 5    | HD19                 | 6x6       | PAB10 x 36" / 30" Min. | XX/S-3.1 |

FOOTNOTES:  
1. Shared holdowns to be installed per detail 10S-1.1. Typical Shearwall Intersections, (UNO)

SHEARWALL SCHEDULE

| DESCRIPTION |                    |           |            |             | NAILING <sup>1</sup> |       | TRANSFERS <sup>2</sup> |                        |                          |     |                  |
|-------------|--------------------|-----------|------------|-------------|----------------------|-------|------------------------|------------------------|--------------------------|-----|------------------|
| NO.         | MATERIALS          | DBL SIDED | SILL PLATE | PANEL B'DRY | SIZE                 | SPC'G | 5/8" <sup>9,3</sup> AB | SDS <sup>4</sup> Screw | A35, LTP4, 5.6,7 or LTP5 | RBC | 16d <sup>5</sup> |
| 6           | 15/32" CDX Plywood | N         | 2x         | 2x          | 10d                  | 6"    | 48"                    | 10"                    | 20"                      | 13" | 5"               |
| 4           | 15/32" CDX Plywood | N         | 2x         | 3x          | 10d                  | 4"    | 38"                    | 7"                     | 13"                      | 9"  | 3"               |
| 3           | 15/32" CDX Plywood | N         | 2x         | 3x          | 10d                  | 3"    | 29"                    | 5" <sup>8</sup>        | 10"                      | 7"  | -                |
| 2           | 15/32" CDX Plywood | N         | 2x         | 3x          | 10d                  | 2"    | 23"                    | 4" <sup>8</sup>        | 8"                       | 5"  | -                |
| 44          | 15/32" CDX Plywood | Y         | 3x         | 3x          | 10d                  | 4"    | 24"                    | 3" <sup>8</sup>        | 6"                       | -   | -                |
| 33          | 15/32" CDX Plywood | Y         | 3x         | 3x          | 10d                  | 3"    | 18"                    | 2" <sup>8,10</sup>     | 5"                       | -   | -                |

FOOTNOTES:  
1. All nails to be COMMONS. DO NOT use box type nails. All "field" nailing to be 12" oc, UNO.  
2. All transfers to be installed into min. 1-1/2" thick members, UNO. Where clips are spaced less than 6" oc, stagger clips on each side of wall.  
3. All shear walls to have 5/8" anchor bolts, embedded 7" into concrete foundations, with 3"x3"x0.229" thick plate washers, minimum. Washers may be slotted (slot length not to exceed 1-3/4") w/ standard cut washer placed between nut and plate washer. Washers shall extend within 1/2" of the edge of the bottom plate on the sheathed side. At walls sheathed on 2 sides, plate washers shall be alternated to each side of plate, [Governing Building Code, Section 2308.3.2] [AF&PA SDPWS 4.3.6.4.3]  
4. Simpson SDS 1/4"x4-1/2" Screws through 2x sill, or SDS 1/4"x6" Screws through 3x sill or double plates. Install into minimum 1-3/4" thick members (rim and/or blocking). [ICC ESR 2236]  
5. See details for permitted transfer clip types and locations.  
6. Orient LTP4 and LTP5 clips such that the long dimension is horizontal.  
7. Where LTP4 clips are installed over shear wall sheathing, fasten with full length 8d common nails.  
8. 16d common nails through the sill plate to rim member or blocking.  
9. Install screws into 3-1/2" wide continuous member, staggered 1-1/2" apart.  
10. Install screws into Glulams or solid sawn member. LSL, LVL, or PSL members are NOT acceptable, UNO.



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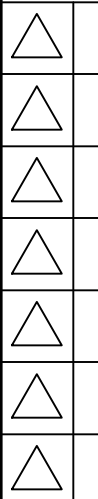
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Engineer of Record:



Del Mar Remodel  
1211 Del Mar Ave  
Santa Barbara, CA 93109

Revision:



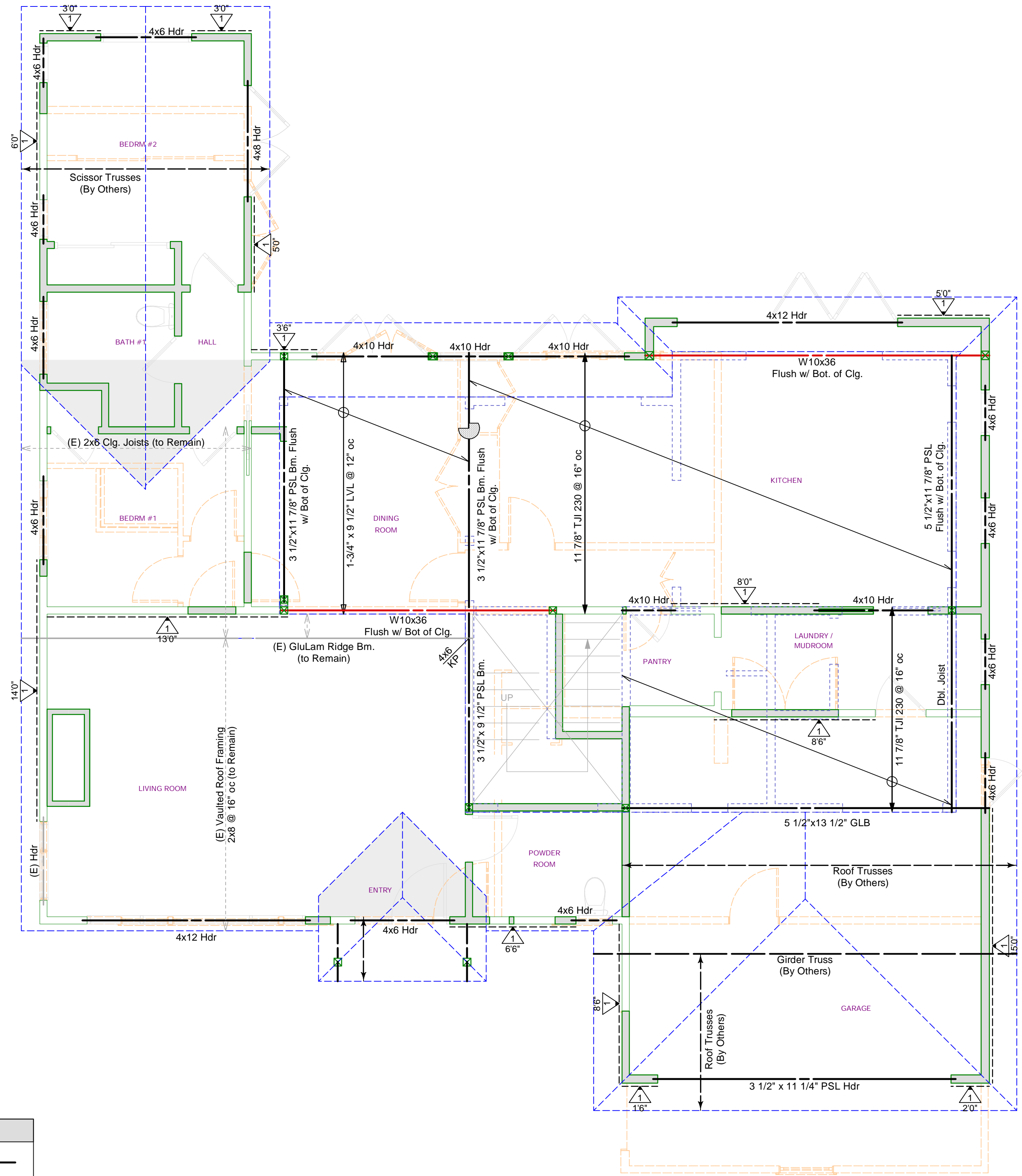
Proj. Engr.: P. Aster Phone Ext.: 181  
Proj. Mngr.: P. Belmont Phone Ext.: 158  
Date: 11 July 2019 Scale: 1/4"=1'-0"  
A&V Job No.: 19409

FOUNDATION PLAN

S-2.1

DO NOT SCALE THESE DRAWINGS. Refer to Architectural plans for all dimensions.





#### GENERAL FRAMING NOTES

(N) Beams (per Call-out)

(E) Beams (to Remain)

All Beams to Bear on Plates w/ Indicated Post or Doubler Below Unless Noted Otherwise  
All Lumber 4x6, 6x6 and Smaller to be DF #2 UNO  
All Lumber 4x8, 6x8 and Larger to be DF #1 UNO  
Floor sheathing to be 3/4\"/>

All Walls to have Continuous Double Top Plates,  
All Splices to be per Detail 7/S-1.1

Pre-Fabricated Roof Trusses (by Others) @ 24\"/>

(N) Floor Joists -- 11 7/8\"/>

(N) Deck Joists -- 1-3/4\"/>

(E) Framing (to Remain)

Denotes Step in Framing.  
Step Ht. & Extent per Arch.

Waterproofing, flashing, & finish details per Architecturals.

See General Notes & Specifications for additional requirements and material specifications.

All dimensions per Architectural plans.

Contractor to VERIFY all dimensions w/ Architectural plans PRIOR to commencement of construction.

Contractor shall verify all existing conditions prior to construction & contact Engineer and Architect regarding any discrepancies.

#### WALL SCHEDULE

Stud wall locations per Architecturals.

(E) Wood-Framed Wall to Remain

(N) Non-Struc. Wood-Framed Wall

Wall Thickness per Arch.

Min. 2x4 D.F. Stud @ 16\"/>

Demolished Wall Framing

(shown for clarity)

Provide wall length continuous full depth solid blocking (where floor joists perpendicular) or double floor joist (where joists parallel) for all walls above.

Walls above

(shown for clarity)

#### HOLDOWN SCHEDULE

| TYPE | HOLDOWN <sup>1</sup> | MIN. POST | ANCHOR / EMBEDMENT | DETAILS  |
|------|----------------------|-----------|--------------------|----------|
| A    | CS14                 | (2) 2x    | N/A                | XX/S-3.2 |
| B    | CMSTC16              | (2) 2x    | N/A                | XX/S-3.2 |
| C    | CMST14               | 4x6       | N/A                | XX/S-3.2 |
| D    | CMST12               | 4x6       | N/A                | XX/S-3.2 |
| E    | MSTC66B3             | (2) 2x    | N/A                | XX/S-3.2 |
| 1    | HDU4                 | (2) 2x    | SSTB24 / 21\"/>    | XX/S-3.1 |
| 2    | HDU8                 | 4x6       | SSTB28L / 25\"/>   | XX/S-3.1 |
| 3    | HDU11                | 6x6       | SB1x30 / 24\"/>    | XX/S-3.1 |
| 4    | HDU14                | 6x6       | SB1x30 / 24\"/>    | XX/S-3.1 |
| 5    | HD19                 | 6x6       | PAB10 x 36\"/>     | XX/S-3.1 |

#### FOOTNOTES:

1. Shared holdowns to be installed per detail 10/S-1.1. Typical Shearwall intersections, (UNO)

#### SHEARWALL SCHEDULE

| DESCRIPTION |                    |           |            |             | NAILING <sup>1</sup> |      | TRANSFERS <sup>2</sup> |                        |                                    |     |                  |
|-------------|--------------------|-----------|------------|-------------|----------------------|------|------------------------|------------------------|------------------------------------|-----|------------------|
| NO.         | MATERIALS          | DBL SIDED | SILL PLATE | PANEL B'DRY | SIZE                 | SPCG | 5/8"Ø <sup>3</sup> A/B | SDS <sup>4</sup> Screw | A35, LTP4 <sup>5,6,7</sup> or LTP5 | RBC | 16d <sup>8</sup> |
| 6           | 15/32" CDX Plywood | N         | 2x         | 2x          | 10d                  | 6"   | 48"                    | 10"                    | 20"                                | 13" | 5"               |
| 4           | 15/32" CDX Plywood | N         | 2x         | 3x          | 10d                  | 4"   | 38"                    | 7"                     | 13"                                | 9"  | 3"               |
| 3           | 15/32" CDX Plywood | N         | 2x         | 3x          | 10d                  | 3"   | 29"                    | 5" <sup>9</sup>        | 10"                                | 7"  | -                |
| 2           | 15/32" CDX Plywood | N         | 2x         | 3x          | 10d                  | 2"   | 23"                    | 4" <sup>9</sup>        | 8"                                 | 5"  | -                |
| 44          | 15/32" CDX Plywood | Y         | 3x         | 3x          | 10d                  | 4"   | 24"                    | 3" <sup>9</sup>        | 6"                                 | -   | -                |
| 33          | 15/32" CDX Plywood | Y         | 3x         | 3x          | 10d                  | 3"   | 18"                    | 2" <sup>9,10</sup>     | 5"                                 | -   | -                |

#### FOOTNOTES:

1. All nails to be COMMONS. DO NOT use box type nails. All \"field\" nailing to be 12\"/>

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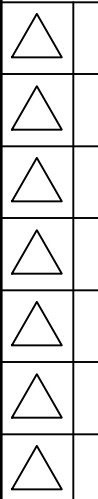
Engineer of Record:



## Del Mar Remodel

1211 Del Mar Ave  
Santa Barbara, CA 93109

Revision:



Proj. Engr.: P. Aster Phone Ext.: 181

Proj. Mngr.: P. Belmont Phone Ext.: 158

Date: 11 July 2019 Scale: 1/4\"/>

A&V Job No.: 19409

## FLOOR FRAMING PLAN

# S-2.2



Denotes Approximate Areas of Overbuild. Overbuild Framing Consists of 2x8 Ridge, 2x6 Rafters, with 2x4 Vertical Supports @ 48" o.c., Staggered.

TRUSS DRAWINGS

Manufactured truss (i.e. prefabricated truss) drawings are required. Truss drawings must be received by the Architect (or designer) in time to ensure adequate coordination with Structural Engineer. Refer to the Material Specifications for additional requirements. Truss drawings shall include (but are not limited to) the following:  
1. All connections related to trusses (i.e. truss to truss, conventional framing to truss, truss to top plate, etc.  
2. All related bracing for trusses.  
3. Any camber needed to minimize excessive deflection.  
4. Adequate design to prevent any lateral movement.  
5. Adequate design to sustain any vertical load.  
6. The builder agrees to hold the Architect (or Designer) & the Engineer harmless for omissions due to delayed receipt of truss drawings.

All truss engineering, drawings, truss types, and detailed shop drawings shall be approved by the project engineer prior to the installation of the trusses.

GENERAL FRAMING NOTES

(N) Beams (per Call-out)

All Beams to Bear on Plates w/ Indicated Post or Doubler Below Unless Noted Otherwise  
All Lumber 4x6, 6x6 and Smaller to be DF #2 UNO  
All Lumber 4x8, 6x8 and Larger to be DF #1 UNO  
Roof sheathing to be 5/8" plywood or OSB, PI 40/20, nailed w/ 10d commons at 6", 6", 12"  
All Walls to have Continuous Double Top Plates, All Splices to be per Detail 7/S-1.1  
Pre-Fabricated Roof Trusses (by Others) @ 24" oc  
All Truss to Truss Hangers per Mfr., Typ. (UNO)

Waterproofing, flashing, & finish details per Architecturals.

See General Notes & Specifications for additional requirements and material specifications.  
All dimensions per Architectural plans  
Contractor to VERIFY all dimensions w/ Architectural plans PRIOR to commencement of construction.  
Contractor shall verify all existing conditions prior to construction & contact Engineer and Architect regarding any discrepancies.

EXISTING BUILDING NOTES

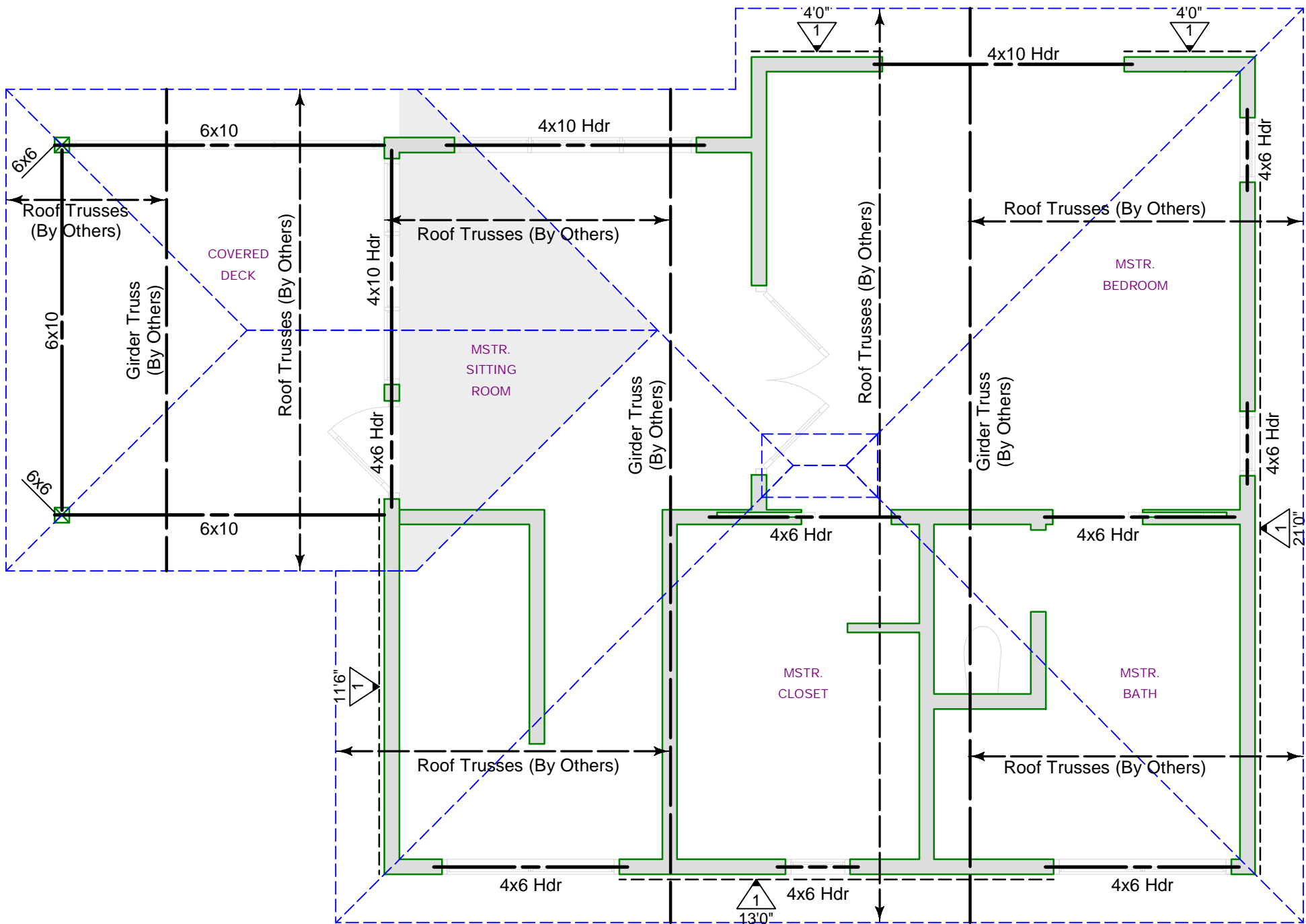
All As-Built Structural Information Taken From Archived Plans by Tam Shea Design, dated 07-19-2016.

WALL SCHEDULE

Stud wall locations per Architecturals.

Wood-Framed Wall

Wall Thickness per Arch.  
Min. 2x4 D.F. Stud @ 16" o.c.



| HOLDOWN SCHEDULE   |                      |           |                        |          |
|--|----------------------|-----------|------------------------|----------|
| TYPE   | HOLDOWN <sup>1</sup> | MIN. POST | ANCHOR / EMBEDMENT     | DETAILS  |
| A  | CS14                 | (2) 2x    | N/A                    | XX/S-3.2 |
| B  | CMSTC16              | (2) 2x    | N/A                    | XX/S-3.2 |
| C  | CMST14               | 4x6       | N/A                    | XX/S-3.2 |
| D  | CMST12               | 4x6       | N/A                    | XX/S-3.2 |
| E  | MSTC66B3             | (2) 2x    | N/A                    | XX/S-3.2 |
| 1  | HDU4                 | (2) 2x    | SSTB24 / 21" Min.      | XX/S-3.1 |
| 2  | HDU8                 | 4x6       | SSTB28L / 25" Min.     | XX/S-3.1 |
| 3  | HDU11                | 6x6       | SB1x30 / 24" Min.      | XX/S-3.1 |
| 4  | HDU14                | 6x6       | SB1x30 / 24" Min.      | XX/S-3.1 |
| 5  | HD19                 | 6x6       | PAB10 x 36" / 30" Min. | XX/S-3.1 |
| FOOTNOTES:<br>1. Shared holdowns to be installed per detail 10/S-1.1. Typical Shearwall Intersections, (UNO) |                      |           |                        |          |

| SHEARWALL SCHEDULE   |                    |           |            |             |      |                      |            |                        |                          |     |                  |
|--|--------------------|-----------|------------|-------------|------|----------------------|------------|------------------------|--------------------------|-----|------------------|
| DESCRIPTION  |                    |           |            |             |      | NAILING <sup>1</sup> |            | TRANSFERS <sup>2</sup> |                          |     |                  |
| NO.  | MATERIALS          | DBL SIDED | SILL PLATE | PANEL B DRY | SIZE | SPC'G                | 5/8"x3" AB | SDS <sup>4</sup> Screw | A35, LTP4, 5.6,7 or LTP5 | RBC | 16d <sup>5</sup> |
| 6  | 15/32" CDX Plywood | N         | 2x         | 2x          | 10d  | 6"                   | 48"        | 10"                    | 20"                      | 13" | 5"               |
| 4  | 15/32" CDX Plywood | N         | 2x         | 3x          | 10d  | 4"                   | 38"        | 7"                     | 13"                      | 9"  | 3"               |
| 3  | 15/32" CDX Plywood | N         | 2x         | 3x          | 10d  | 3"                   | 29"        | 5" <sup>8</sup>        | 10"                      | 7"  | -                |
| 2  | 15/32" CDX Plywood | N         | 2x         | 3x          | 10d  | 2"                   | 23"        | 4" <sup>8</sup>        | 8"                       | 5"  | -                |
| 44   | 15/32" CDX Plywood | Y         | 3x         | 3x          | 10d  | 4"                   | 24"        | 3" <sup>8</sup>        | 6"                       | -   | -                |
| 33   | 15/32" CDX Plywood | Y         | 3x         | 3x          | 10d  | 3"                   | 18"        | 2" <sup>8,10</sup>     | 5"                       | -   | -                |
| FOOTNOTES:<br>1. All nails to be COMMONS. DO NOT use box type nails. All "field" nailing to be 12" oc, UNO.<br>2. All transfers to be installed into min. 1-1/2" thick members, UNO. Where clips are spaced less than 6" oc, stagger clips on each side of wall.<br>3. All shear walls to have 5/8" anchor bolts, embedded 7" into concrete foundations, with 3"x3"x0.229" thick plate washers, minimum. Washers may be slotted (slot length not to exceed 1-3/4") w/ standard cut washer placed between nut and plate washer. Washers shall extend within 1/2" of the edge of the bottom plate on the sheathed side. At walls sheathed on 2 sides, plate washers shall be alternated to each side of plate. (Governing Building Code, Section 2308.3.2) [AF&PA SDPWS 4.3.6.4.3]<br>4. Simpson SDS 1/4"x4-1/2" Screws through 2x sill, or SDS 1/4"x6" Screws through 3x sill or double plates. Install into minimum 1-3/4" thick members (rim and/or blocking). (ICC ESR 2236)<br>5. See details for permitted transfer clip types and locations.<br>6. Orient LTP4 and LTP5 clips such that the long dimension is horizontal.<br>7. Where LTP4 clips are installed over shear wall sheathing, fasten with full length 8d common nails.<br>8. 16d common nails through the sill plate to rim member or blocking.<br>9. Install screws into 3-1/2" wide continuous member, staggered 1-1/2" apart.<br>10. Install screws into Glulams or solid sawn member. LSL, LVL, or PSL members are NOT acceptable, UNO. |                    |           |            |             |      |                      |            |                        |                          |     |                  |

Revision:

Proj. Engr.: P. Aster      Phone Ext.: 181

Proj. Mngr.: P. Belmont      Phone Ext.: 158

Date: 11 July 2019      Scale: 1/4"=1'-0"

A&V Job No.: 19409

ROOF FRAMING PLAN

S-2.3

DO NOT SCALE THESE DRAWINGS. Refer to Architectural plans for all dimensions.

Ashley & Vance

ENGINEERING, INC.

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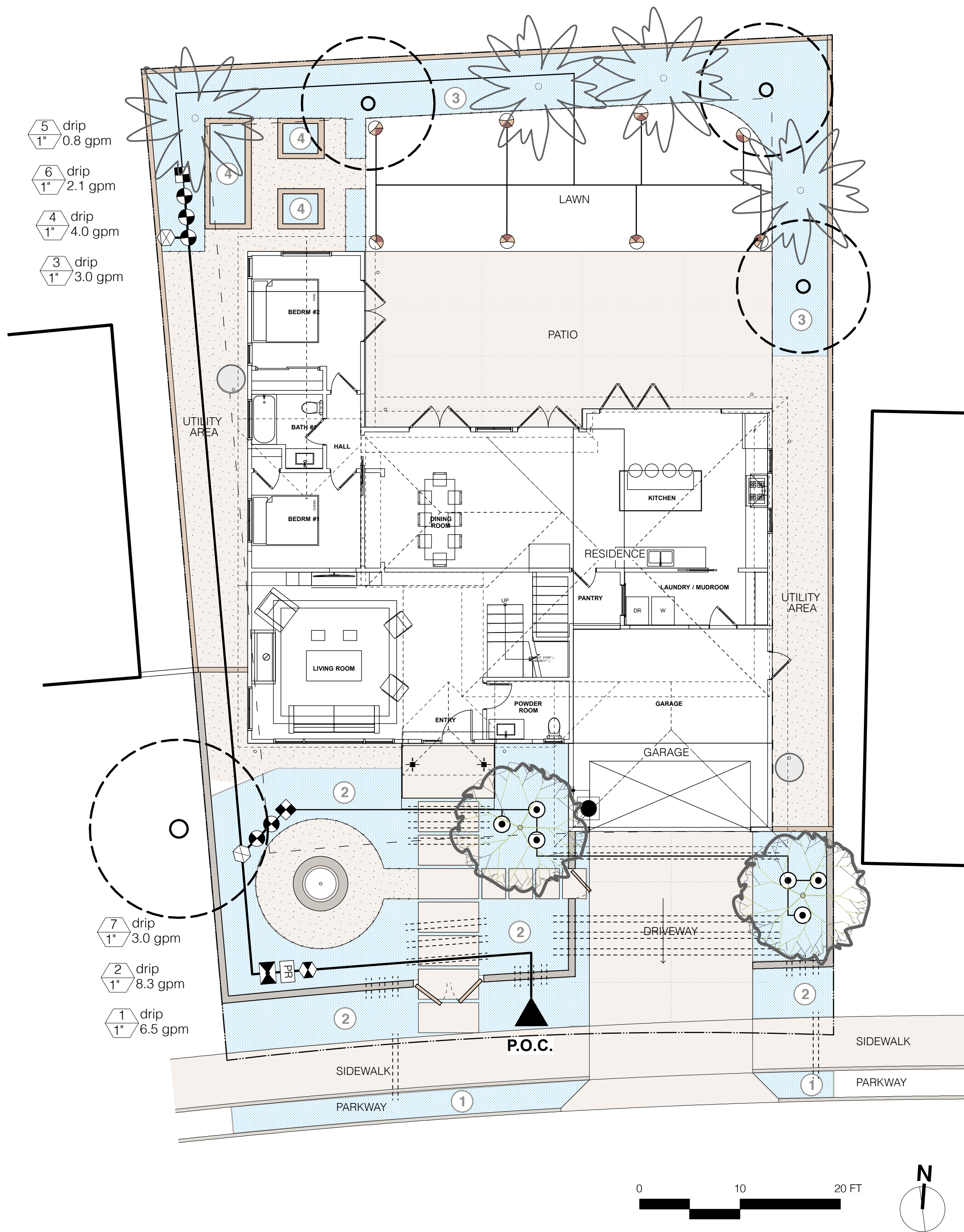
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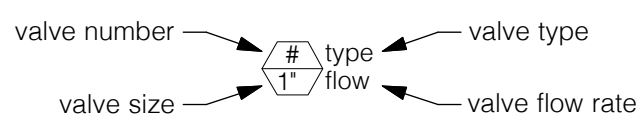
Project Information

Total Landscaped Area (Proposed): 2,194 SF  
Landscape Area with Low Water Use Plants: 2,102 SF (95% of TLA)  
Landscape Area with Med Water Use Plants: 36 SF (2% of TLA)  
Landscape Area with High Water Use Plants: 56 SF (3% of TLA)  
Total New Irrigated Area: 2,194 SF  
Area Irrigated by Drip Irrigation (2 GPH or less): 1,634 SF (75%)  
Area Irrigated by Other Irrigation: 560 SF (25%)  
Project Type: residential  
Water Supply Type: potable

Irrigation Legend

| symbol | description                       | manufacturer / model  |
|--------|-----------------------------------|---|
|        | irrigation mainline               | 1" Sch. 40 PVC  |
|        | irrigation lateral                | see Lateral Sizing  |
|        | irrigation sleeve                 | see Irrigation Notes  |
|        | P.O.C.                            |   |
|        | point of connection               | location at (E) water meter   |
|        | irrigation controller             | HUNTER IC-600-SS w/ (1) HUNTER ICM-600 modules and a HUNTER Wireless Rain-lik Rain Sensor WR-CLICK-TR.<br><br>Install per MFR specifications. Rain Sensor to be installed to automatically shutoff when onsite rainfall exceeds 1/4 inch. Install per MFR specifications. |
|        | backflow preventer                | 3/4" FEBCO 825Y or approved equal   |
|        | pressure regulator                | HONEYWELL D06-G with gauge (70 psi)   |
|        | spray valve                       | WEATHERMATIC 11024FCR (65 psi)  |
|        | drip valve                        | WEATHERMATIC 11024FCR w/ pressure regulating Y-Filter (30 psi)  |
|        | hose bib                          | 3/4" brass hose bibb  |
|        | manual shut-off valve             | PVC ball valve, size to match mainline  |
|        | drip irrigation zones             | HUNTER 1/2" Supply Tubing w/ HUNTER Point Source Emitters, see Emitter Legend   |
|        | rotary spray head, 90-210 degrees | HUNTER Pro-Spray PROS-06-PRS40-VC w/ MP Rotator MP1000-90 nozzles (40 psi)  |
|        | root watering system              | HUNTER RZWS (65 psi), see Emitter Legend for size and model   |

Valve Identification



Hydrozone Legend

| valve/zone | description   | area   | plant type | exposure   |
|------------|---------------|--------|------------|------------|
| 1          | Parkway       | 107 SF | L          | Full Sun   |
| 2          | Front Yard    | 799 SF | L          | Full Sun   |
| 3          | Backyard      | 604 SF | L          | Part Shade |
| 4          | Veggie Garden | 56 SF  | H          | Part Shade |
| 5          | Lawn          | 560 SF | L          | Full Sun   |
| 6          | Palm Trees    | 36 SF  | M          | Full Sun   |
| 7          | Trees         | 32 SF  | L          | Full Sun   |

Emitter Legend

| plant material          | equipment                                   |
|-------------------------|---|
| flatted groundcover     | Microspray Emitters                         |
| 4" pot                  | 2 - HE-20-B Emitters per plant              |
| 1 gallon                | 2 - HE-20-B Emitters per plant              |
| 5 gallon shrubs         | 3 - HE-20-B Emitters per plant              |
| 15 gallon shrubs        | 4 - HE-20-B Emitters per plant              |
| 15 gallon trees         | 2 - RZWS-18-50-CV per tree                  |
| 24" box trees           | 2 - RZWS-18-50-CV per tree                  |
| 36" box trees           | 3 - RZWS-36-50-CV per tree                  |
| 48" box trees and above | (Consult with a Local Arborist)             |
| 15 gallon palms         | 6 - HE-20-B Emitters per plant              |
| 24" box palms           | 6 - HE-20-B Emitters per plant              |
| 36" box palms           | 8 - HE-20-B Emitters per plant              |
| 48" box palms and above | (Consult with a Local Arborist)             |
| 15 gallon citrus        | 2 - Solo-Drip SD-B-STK micro spray per tree |
| 24" box citrus          | 2 - Solo-Drip SD-B-STK micro spray per tree |
| 36" box citrus          | 3 - Solo-Drip SD-B-STK micro spray per tree |

Mainline Sizing

|            |        |             |
|------------|--------|-------------|
| 0-4 gpm    | 1/2"   | schedule 40 |
| 4-8 gpm    | 3/4"   | schedule 40 |
| 8-12 gpm   | 1"     | schedule 40 |
| 12-22 gpm  | 1 1/4" | schedule 40 |
| 22-30 gpm  | 1 1/2" | schedule 40 |
| 30-50 gpm  | 2"     | class 315   |
| 50-70 gpm  | 2 1/2" | class 315   |
| 70-120 gpm | 3"     | class 315   |

Lateral Line Sizing

|            |        |           |
|------------|--------|-----------|
| 0-6 gpm    | 1/2"   | class 315 |
| 6-10 gpm   | 3/4"   | class 200 |
| 10-16 gpm  | 1"     | class 200 |
| 16-26 gpm  | 1 1/4" | class 200 |
| 26-35 gpm  | 1 1/2" | class 200 |
| 35-55 gpm  | 2"     | class 200 |
| 55-80 gpm  | 2 1/2" | class 200 |
| 80-120 gpm | 3"     | class 200 |

Landscape Compliance Statement

|   |                       |
|---|-----------------------|
| No turf in parkways, medians or other areas with dimension <8 feet  | L2.00                 |
| No turf on >20% slope   | L2.00                 |
| For residential, mixed use, and institutional projects, 80% or > of landscape area water wise plants  | L1.00/L2.00           |
| For commercial, 100% of landscape area water wise plants  |                       |
| For residential, <20% of area in turf or high water using plants  | n/a                   |
| Three inches of mulch specified as required   | L1.00                 |
| Areas of sprinkler coverage avoids overspray and run-off including optimum distribution uniformity, head to head spacing and setbacks from walkways and pavement. | L1.00                 |
| Sprinklers have matched precipitation rates within each valve and circuit.  | L1.00                 |
| Valves separated for individual hydrozones based on plant water needs and sun/shade requirements.   | L1.00                 |
| Weather based irrigation controller with a rain shutoff sensor for the entire irrigation system if including an automatic irrigation system                       | L1.00                 |
| Areas less than 8' wide irrigated only with bubblers, rotating nozzles on pop-up bodies, sub-surface, or drip irrigation  | L1.00                 |
| Drip/low volume irrigation system on >25% of landscaped area  | L1.00                 |
| Check valves at low end of irrigation lines to prevent unwanted draining of irrigation lines  | L1.00                 |
| Pressure regulators, unless the Public Works Director determination one is not necessary  | L1.00                 |
| Grading encourages water retention and infiltration by preserving open space and creating depressed areas/swales  | Refer to Grading Plan |
| Grading mimics natural, pre-development hydrologic flow paths and maintains and/or increases the width of flow paths in order to decrease flow rates              | Refer to Grading Plan |

I state that I am familiar with the Landscape Design Standards for Water Conservation as most recently adopted by the Santa Barbara City Council and that the landscape design for this project complies with those standards. It is my understanding that verification of compliance will be necessary upon final building inspection. I shall inspect the completed installation and I will submit in writing that the installation substantially conforms to the approved plans.

|           |           |
|-----------|-----------|
| signature | name      |
| Lic. #    | Exp. Date |

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1211 DEL MAR AVENUE  
SANTA BARBARA, CA

PROJECT:

SHEET CONTENTS  
Irrigation Plan

DATE  
10/22/19

SCALE  
1" = 10'-0"

DRAWN  
NT

JOB  
19-08

SHEET  
L1.00

1 OF 5 SHEETS



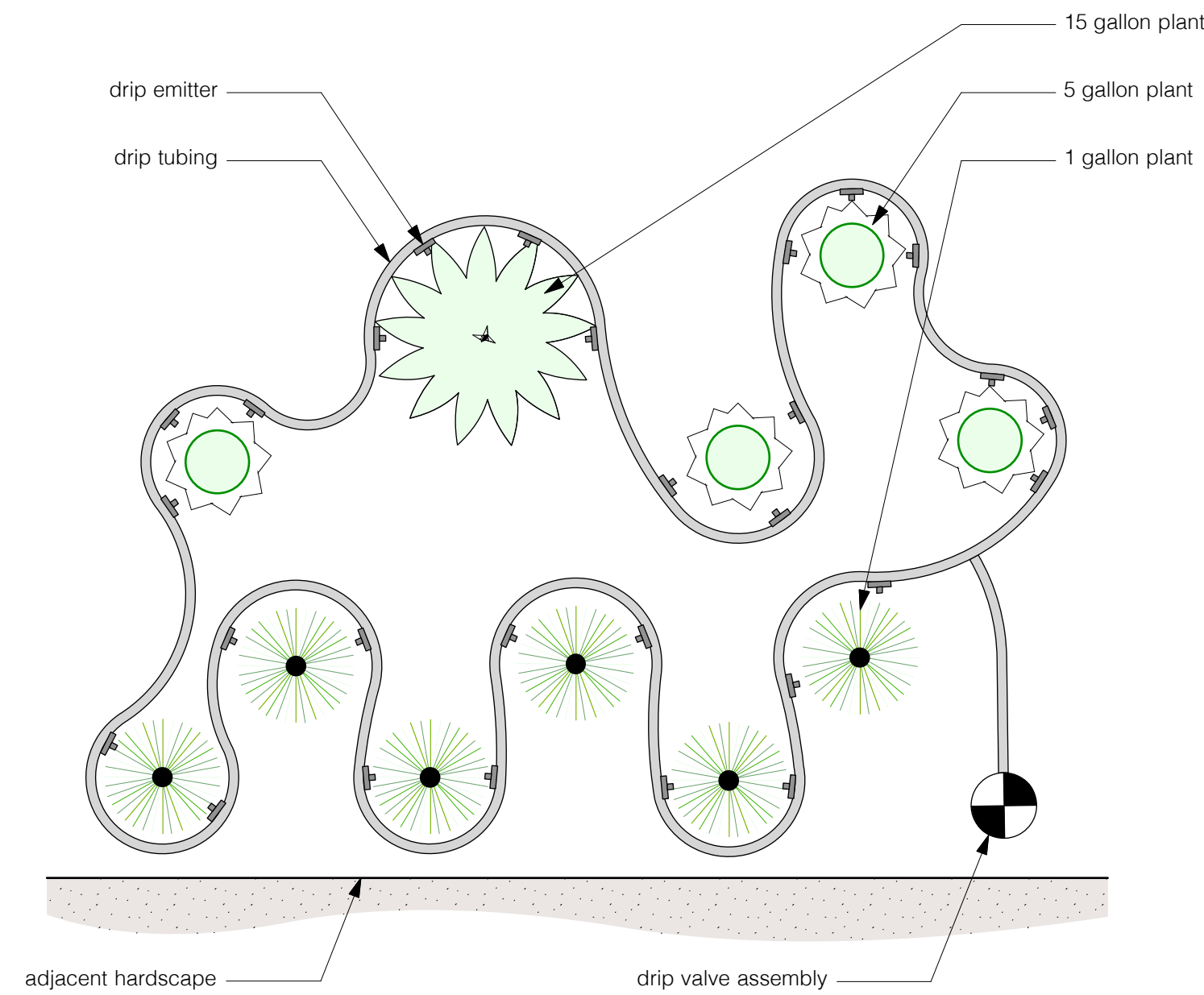
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**1211 DEL MAR AVENUE**  
SANTA BARBARA, CA

PROJECT:

SHEET CONTENTS  
**Irrigation Details**

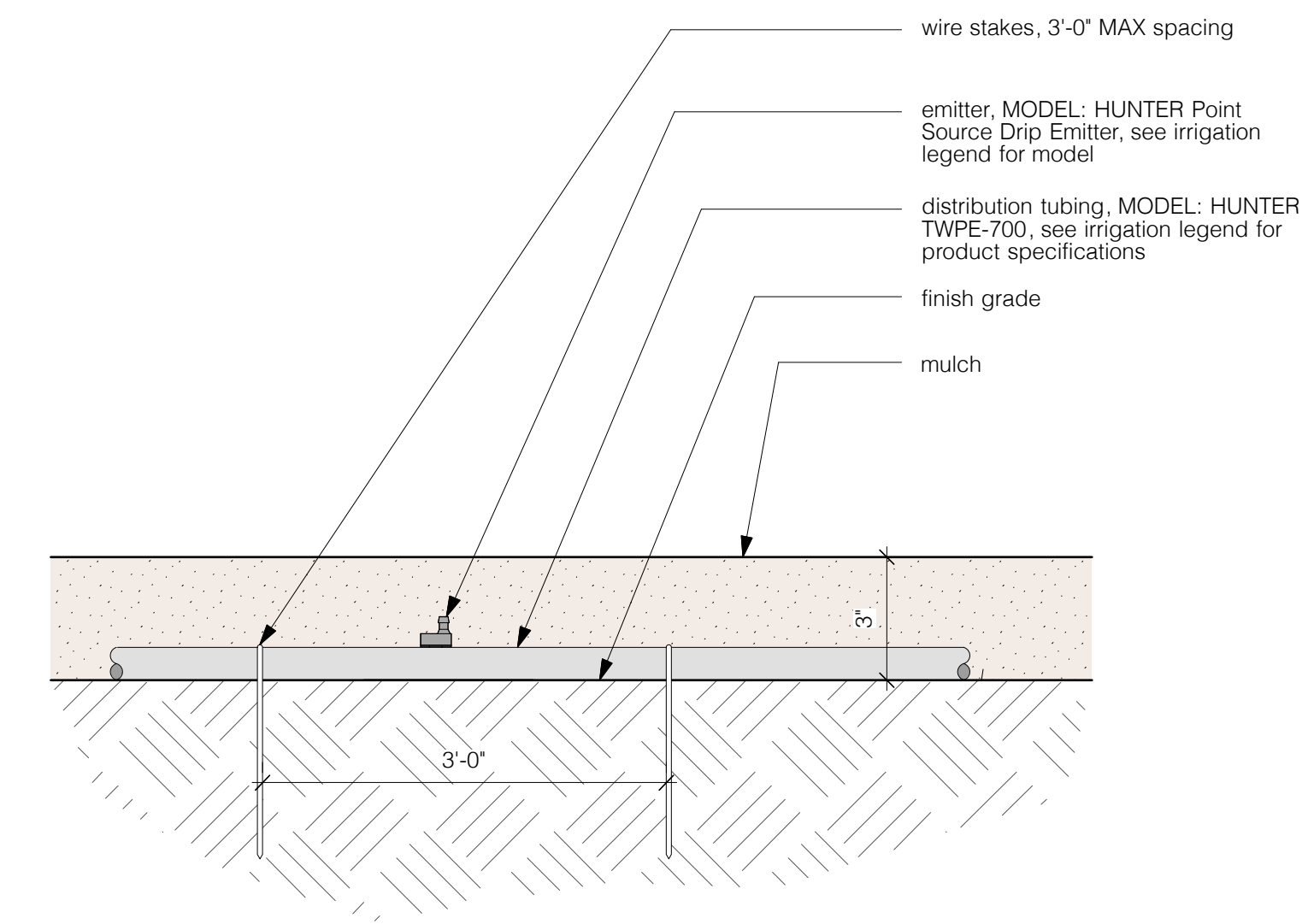
|               |              |
|---------------|--------------|
| DATE          | 10/22/19     |
| SCALE         | as noted     |
| DRAWN         | NT           |
| JOB           | 19-08        |
| SHEET         | <b>L1.01</b> |
| 2 OF 5 SHEETS |              |



Notes:  
1. Refer to Emitter Legend for emitter size and quantity.  
2. Refer to Irrigation Legend for material specifications.

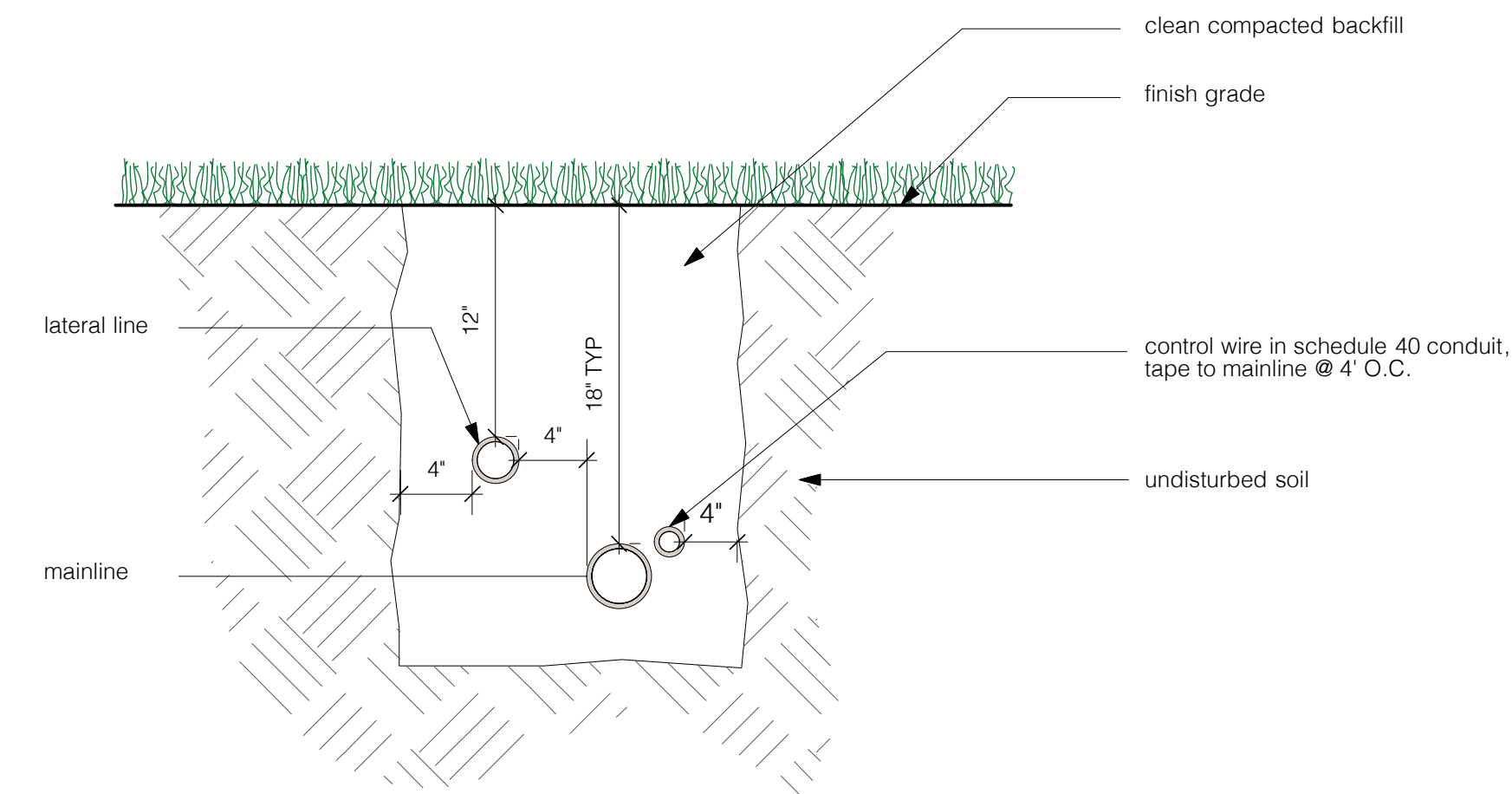
### 3 Drip Tubing and Emitter Layout

scale: N.T.S.



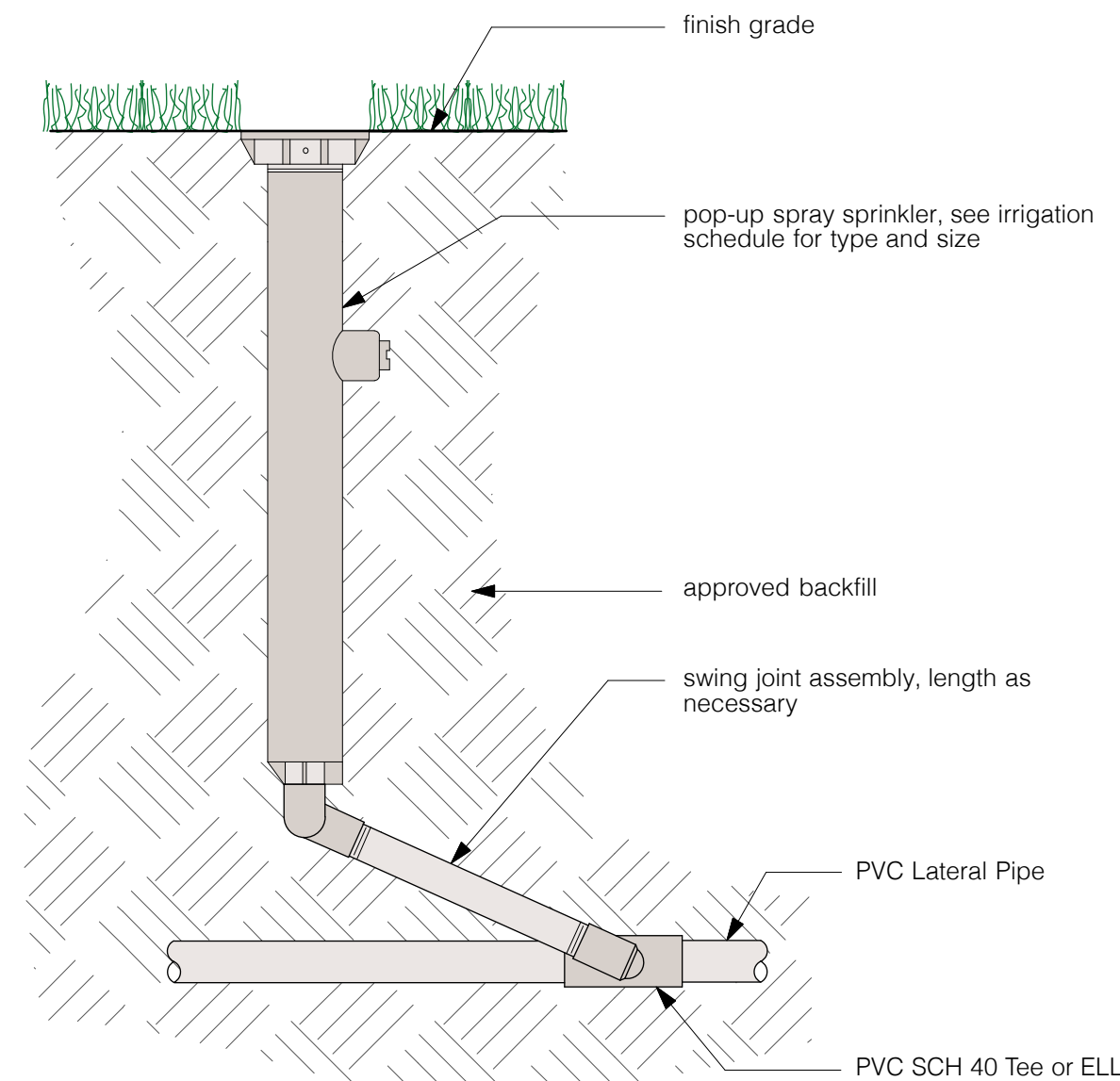
### 2 Drip Irrigation

scale: N.T.S.



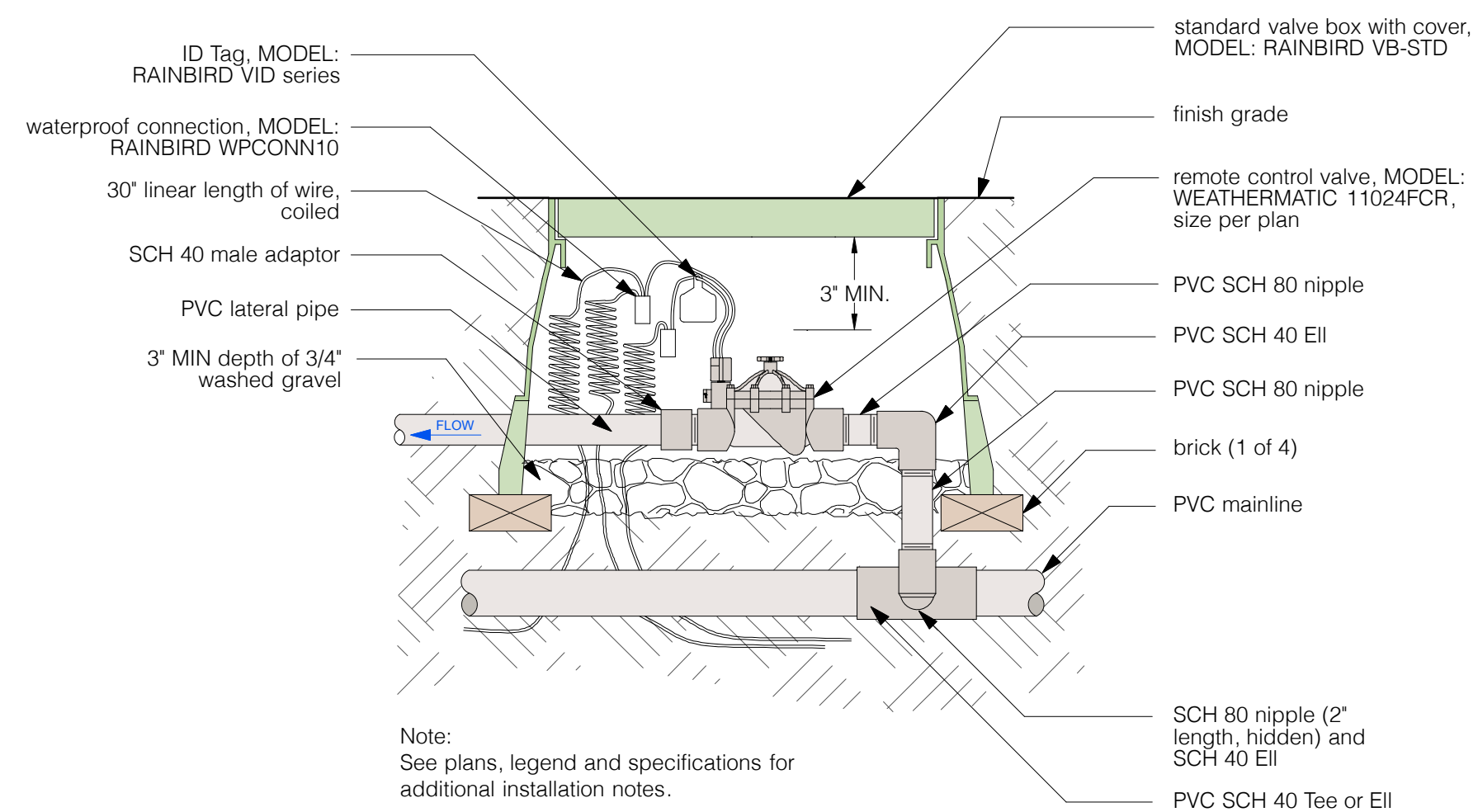
### 1 Pipe & Wire Installation

scale: N.T.S.



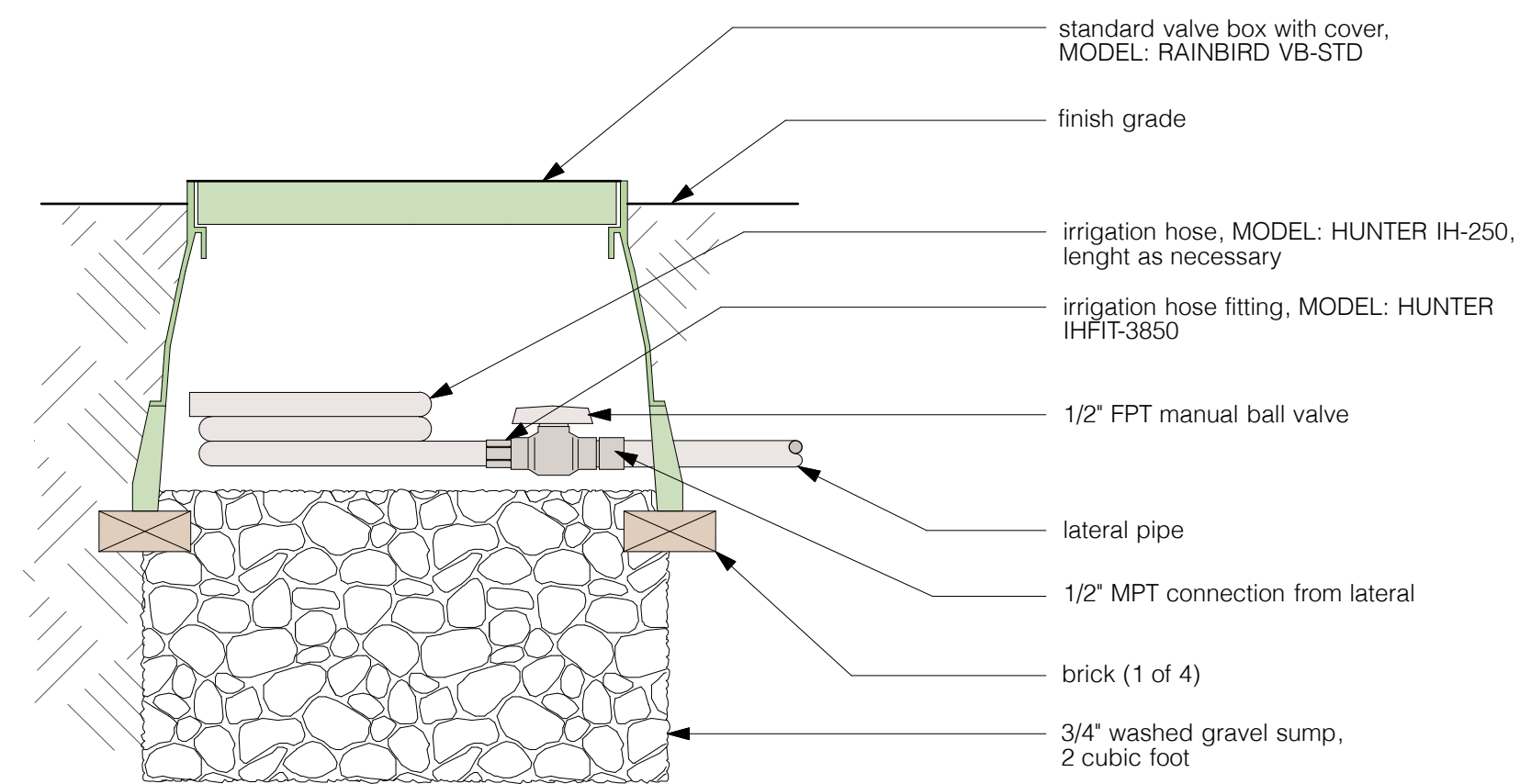
### 6 Spray Head

scale: N.T.S.



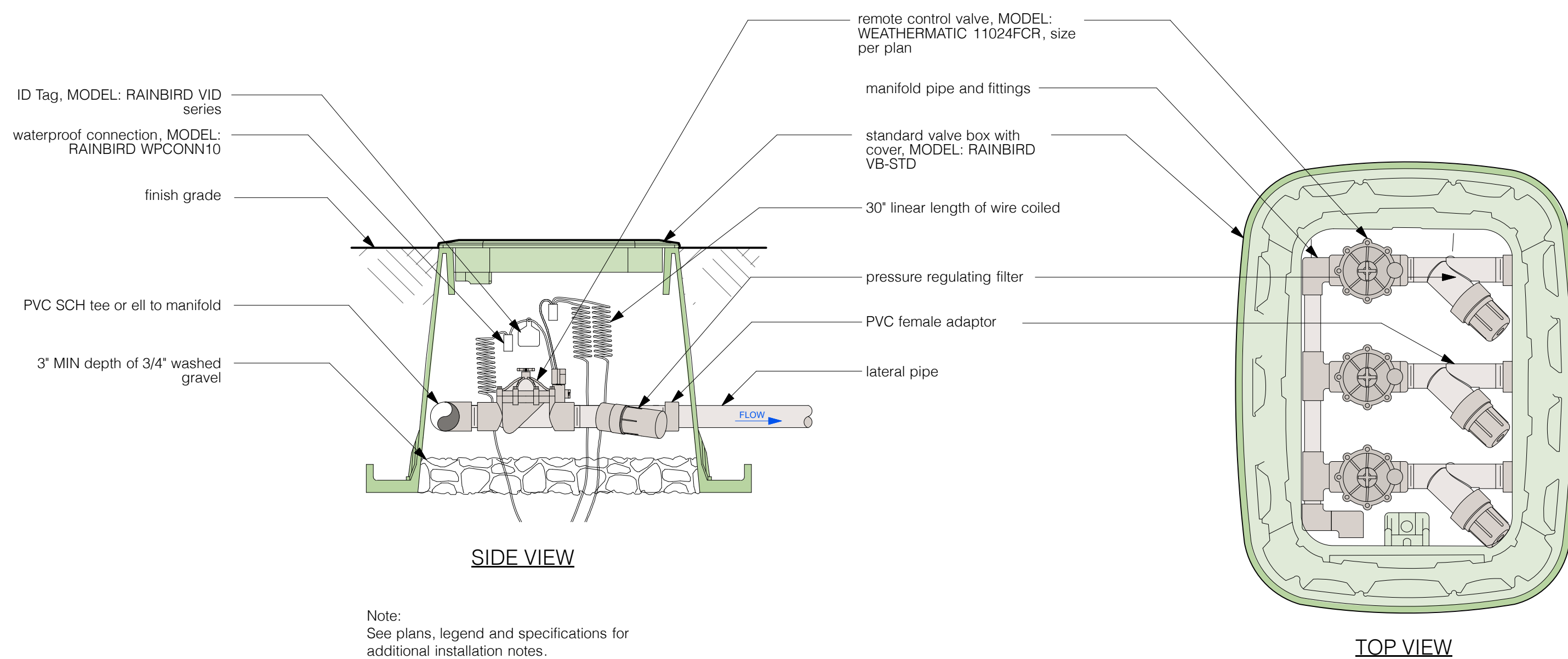
### 7 Spray Valve Assembly

scale: N.T.S.



### 5 Manual Flush Valve

scale: N.T.S.



### 4 Drip Valve Assembly

scale: N.T.S.



## Irrigation Notes

1. This system is diagrammatic. All pipes, valves, etc. shown within paved areas are for design clarification only and shall be installed in planting areas wherever possible.
2. Do not willfully install the sprinkler system as indicated on the drawings when it is obvious in the field that obstructions or grade differences exist and should be brought to the attention of the owner's authorized representative. In the event that such notification is not performed, the contractor must assume full responsibility for all revisions necessary.
3. Irrigation system is designed assuming a static water pressure of approximately 70 PSI at point-of-connection. Prior to installation of irrigation system, contractor shall verify pressure at point-of-connection.
4. It is the intent of this plan to provide adequate irrigation to all planting areas, prevent runoff, low head damage, overspray, or other similar conditions where irrigation water flows onto non-irrigated areas in accordance with MWELC sections 492.9(a)(1)(I) and 492.9(a)(1)(U).

Contractor shall be responsible for making any and all adjustments to the irrigation system necessary to ensure 100% irrigation coverage of all planting areas and MWELC compliance.

5. Emitter shall be located on grade and staked a maximum of six inches from the center of plant, or edge of rootball, whichever is greater.
6. All piping installed under pathways or paved areas, through walls or footings shall be placed inside class 315 PVC sleeves of adequate size to allow free movement of the pipe and any couplings in the sleeve.
7. Irrigation lines shall be buried at the following minimum depths: PVC pressure mainline: 18" PVC lateral line: 12"
8. Irrigation Controller shall adjust flow control for proper performance and valve longevity.
9. Pressure regulating devices shall be installed where necessary to ensure the dynamic pressure at each emission device is within manufacturer's recommended pressure range for optimal performance.
10. Flush valves shall be installed at the ends of all polyethylene drip tubing in round valve boxes with gravel fill.
11. Check valves shall be installed at low points on irrigation line to prevent leakage.

12. All planting areas shall be provided with a 3" thickness of mulch, samples to be provided to owner's representative.

13. No lawn or landscape irrigation with potable water allowed apart from the hours of 8:00PM and 8:00AM. Except for hand held hose equipment with a positive shut-off nozzle.

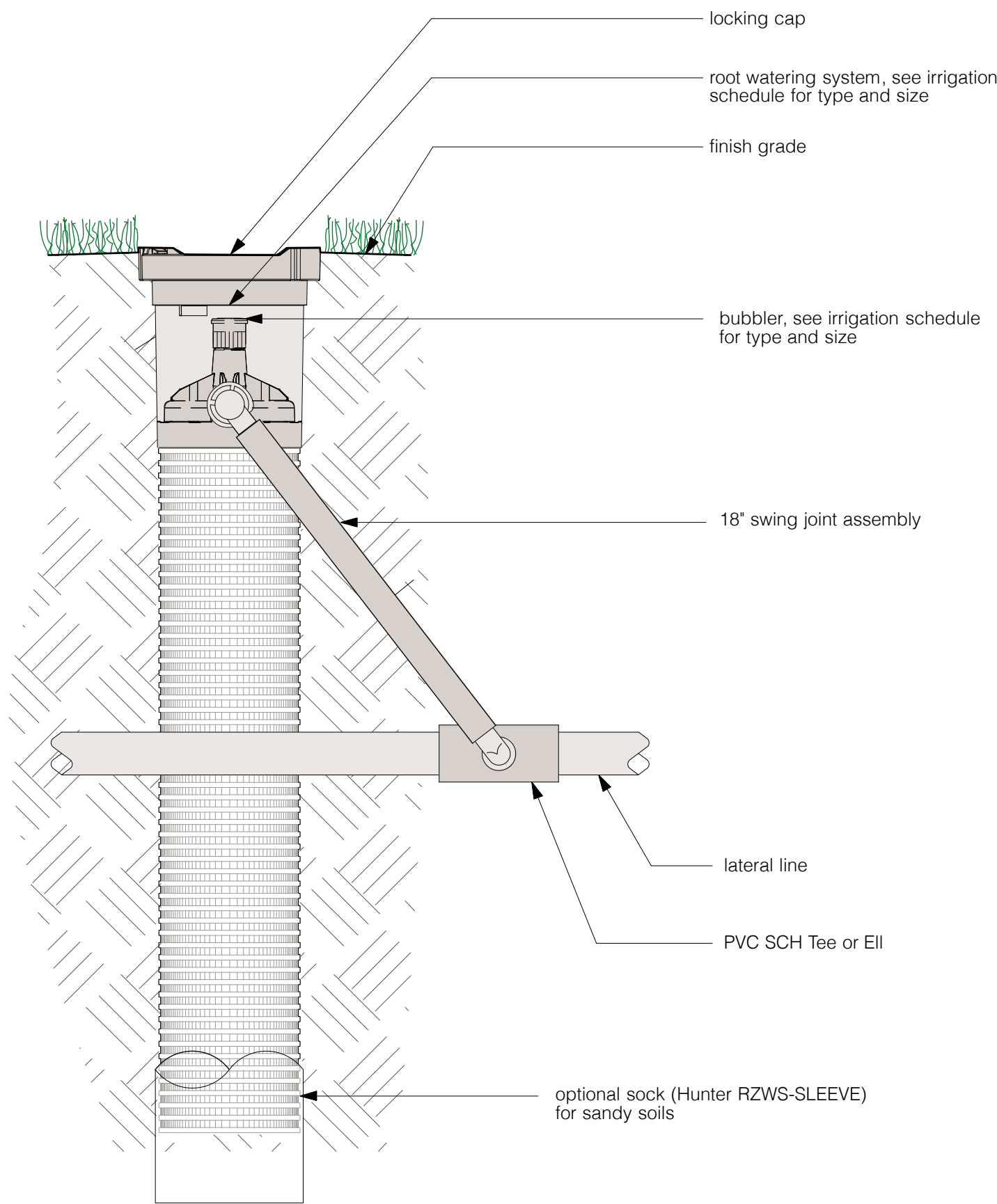
14. Irrigation water shall not run off landscaped areas to adjacent property, adjoining streets, sidewalks, or other paved areas due to incorrectly directed or maintained sprinklers or excessive watering.

15. All irrigation emission devices will meet the criteria set forth by MWELO section 492.7(a)(1)(M) and shall be installed per manufacturer's recommendations.

16. A manual indicating layout of irrigation system and manufacturer instructions for all equipment and procedures shall be provided to the owner at completion of project.

17. Certificate of Completion in accordance with MWELO Section 492.9 will be submitted for review/approval by the Building and Safety Division prior to final occupancy.

18. Landscape Contractor shall clean up on a daily basis per Owner's representative's approval.



Notes:

1. 3' Grate is also available in purple (RZWS-RCCAP).
2. Install product so that the grate is even with finish grade or top of mulch.
3. Optional sand sock (RZWS-SLEEVE) to cover mesh basket area.
4. When installing in extremely hard or clay soils, add 3/4" gravel under and around the unit to allow faster water infiltration and root penetration.
5. Once RZWS has been installed fill the basket with pea gravel before locking lid.



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**1211 DEL MAR AVENUE**  
**SANTA BARBARA, CA**

PROJECT:

**SHEET CONTENTS**  
**Planting Plan**

|               |              |
|---------------|--------------|
| DATE          | 10/22/19     |
| SCALE         | 1" = 10'-0"  |
| DRAWN         | JH           |
| JOB           | 19-08        |
| SHEET         | <b>L2.00</b> |
| 4 OF 5 SHEETS |              |



### Hardscape Legend

| symbol | definition                                       | area     |
|--------|--|----------|
|        | Concrete Paving                                  | 1,185 SF |
|        | Gravel Paving                                    | 863 SF   |
|        | 42" MAX Site Wall, FINISH: to match Architecture | 61 SF    |
|        | 1/4" Steel Landscape Header                      | N/A      |

### Abbreviations:

| abbreviation | description           |
|--------------|-----------------------|
| P.A.         | Planting Area         |
| (E)          | Existing              |
| (P)          | Proposed              |
| CONC.        | Concrete              |
| CMU          | Concrete Masonry Unit |

### Plant Palette

| Botanic Name                                | Common Name              | Size    | Quantity | WUCOLS |
|---|--------------------------|---------|----------|--------|
| <b>Trees &amp; Large Shrubs</b>             |                          |         |          |        |
| <i>Acacia stenophylla</i>                   | Shoestring Acacia        | 36" Box | 2        | Low    |
| <i>Howea forsteriana</i>                    | Kentia Palm              | 24" Box | 4        | Med    |
| <b>Shrubs &amp; Perennials</b>              |                          |         |          |        |
| <i>Agave 'Mateo'</i>                        | Mateo Agave              | 5g      | 11       | Low    |
| <i>Lavandula 'Otto Quast'</i>               | Otto Quast Lavender      | 1g      | 8        | Low    |
| <i>Lomandra 'Breeze'</i>                    | Lomandra                 | 1g      | 60       | Low    |
| <i>Olea europaea 'Montra'</i>               | Little Ollie Dwarf Olive | 5g      | 12       | Low    |
| <i>Rosmarinus officinalis 'Tuscan Blue'</i> | Tuscan Blue Rosemary     | 5g      | 4        | Low    |
| <i>Westringia fruticosa 'Blue Gem'</i>      | Blue Gem Coast Rosemary  | 5g      | 11       | Low    |
| <b>Groundcovers</b>                         |                          |         |          |        |
| <i>Buchloe dactyloides 'UC Verde'</i>       | UC Verde Buffalo Grass   | plugs   | 560 SF   | Low    |
| <i>Dymondia margaratea</i>                  | Silver Creeper           | 4"      | 193 SF   | Low    |

### General Notes

- Refer to Architectural and Civil Engineer drawings for hardscape, walls and downspout locations.
- Refer to Civil Engineer for all grading and drainage.







**CORE DRILL VERSA STAR™**

PROJECT: \_\_\_\_\_

TYPE: \_\_\_\_\_

CATALOG NUMBER: \_\_\_\_\_

LAMP: \_\_\_\_\_

NOTES: \_\_\_\_\_

**CATALOG NUMBER LOGIC**

Example: B - CD VS - GU - 426 - MIT - 10 - 11

**Material**

**Base**

- Blank
- Aluminum
- Black
- Brushed Steel

**Series**

- CD - Core Drill Versa Star™

**Size**

- 426 - 4 1/2" Dia
- 426 - 4 1/2" Dia x 12 1/2" H
- 426 - 4 1/2" Dia x 12 1/2" H
- 426 - 4 1/2" Dia x 12 1/2" H
- 426 - 4 1/2" Dia x 12 1/2" H

**Finish**

- Blank
- Aluminum
- Black
- Brushed Steel

**Mounting**

- Blank
- Aluminum
- Black
- Brushed Steel

**Shading**

- Blank
- Aluminum
- Black
- Brushed Steel

| Material      | Base          | Series        | Size          | Finish        | Mounting      | Shading       |
|---------------|---------------|---------------|---------------|---------------|---------------|---------------|
| Blank         | Blank         | Blank         | Blank         | Blank         | Blank         | Blank         |
| Aluminum      | Aluminum      | Aluminum      | Aluminum      | Aluminum      | Aluminum      | Aluminum      |
| Black         | Black         | Black         | Black         | Black         | Black         | Black         |
| Brushed Steel | Brushed Steel | Brushed Steel | Brushed Steel | Brushed Steel | Brushed Steel | Brushed Steel |

**LAMP DATA**

| SKU No. | Lamp Watts | Description    | Rated Life (hrs.) | Center Beam Candela/Power | Beam Angle | Beam Type |
|---------|------------|----------------|-------------------|---------------------------|------------|-----------|
| 426     | 50         | GU10/12 1/2" H | 2,000             | 200                       | 20°        | Flood     |
| 426     | 50         | GU10/12 1/2" H | 2,000             | 200                       | 20°        | Flood     |
| 426     | 50         | GU10/12 1/2" H | 2,000             | 200                       | 20°        | Flood     |
| 426     | 50         | GU10/12 1/2" H | 2,000             | 200                       | 20°        | Flood     |

**B-K LIGHTING**

4000 Boulevard Drive • Milpitas, CA 95035 • USA  
TEL: 408.375.1100 • FAX: 408.375.1101  
www.bklighting.com • info@bklighting.com

RECEIVED: 08-19-17  
DESIGNED: 08-19-17  
DRAWN: 08-19-17

**SPEC SHEET**



**Pitch Single Outdoor Wall Sconce**  
Item # 700WSPITSB-LED630

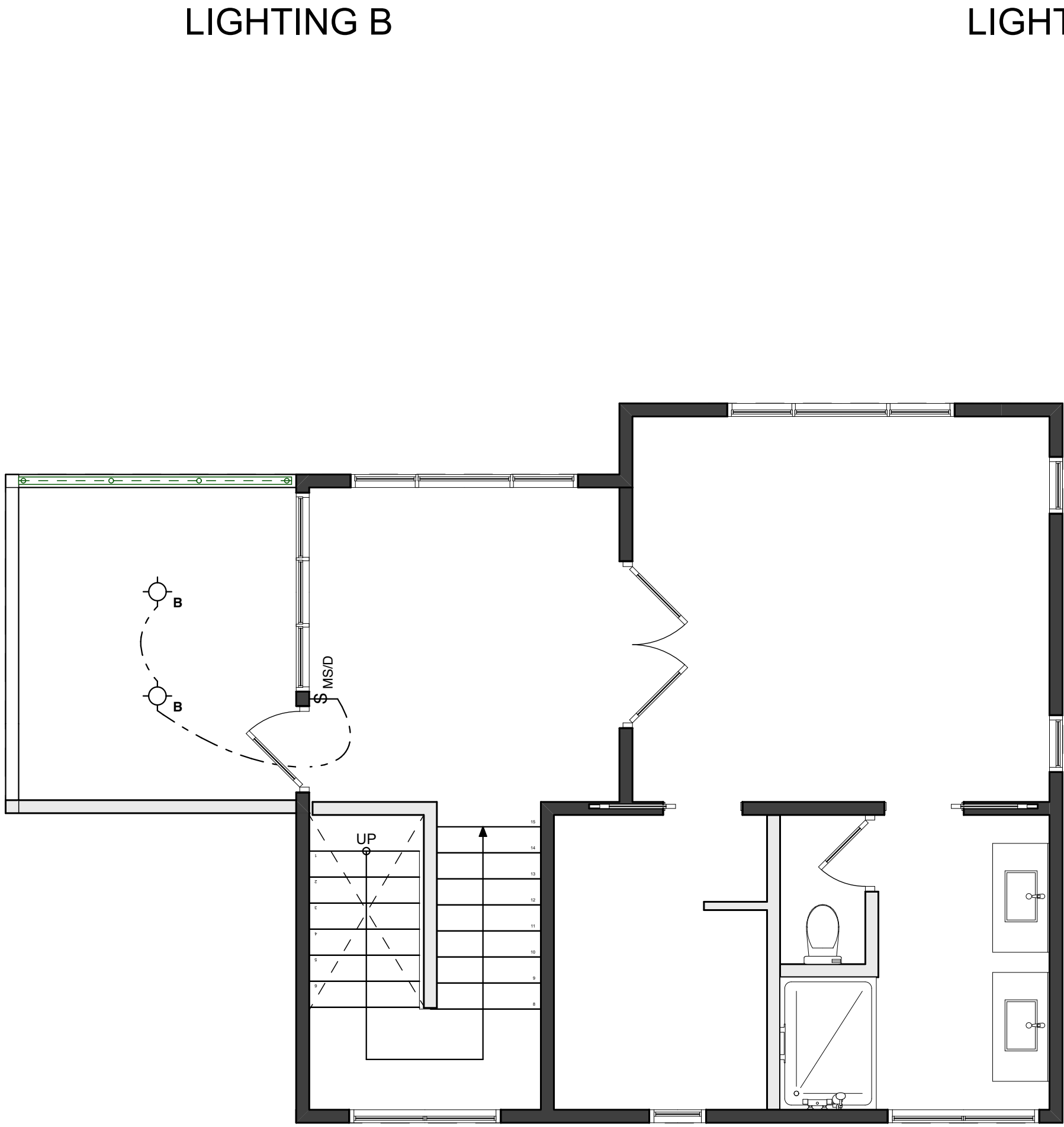
Designer: TL Studio

**Specifications**  
Length: 5"  
Width: 3.9"  
Height: 5"

**Features**  
ADA Compliant  
Dark Sky Compliant  
Dimmable  
Available in LED  
California Title 24 Compliant

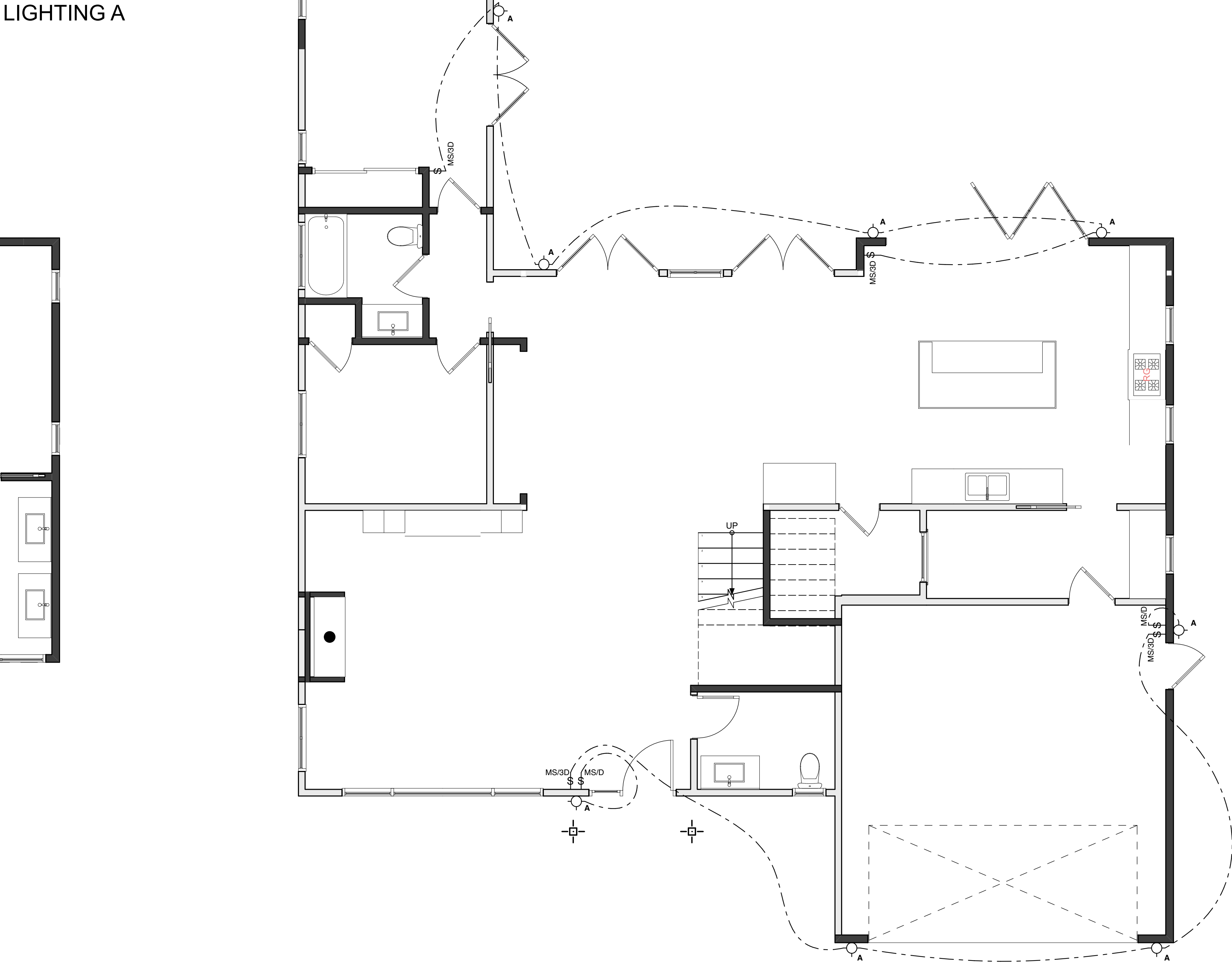
**circa LIGHTING®**





SECOND FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"



FIRST FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

ELECTRICAL LEGEND

Switch

Switch with dimmer

Three-way switch

Four-way switch

Jamb switch

Master multi-zone control switch

Remote multi-zone control switch

Remote single-zone control switch

Switch with timer

Switch circuit

Surface mount accent light fixture

Strip light fixture

Plug mold multi-outlet

Thermostat

Doorbell

Intercom

Security

Ceiling mounted exhaust fan with humidistat

Wall mounted exhaust fan

Telephone outlet

Recessed telephone floor outlet

Cable television outlet

Recessed television floor outlet

Computer outlet

Recessed computer floor outlet

Recessed adjustable ceiling downlight

Recessed ceiling downlight

Wall-mounted vantage keypad

Duplex outlet

Recessed floor outlet

1/2 hot switched outlet

Fourplex outlet

220V outlet

Surface mounted ceiling light

Surface mounted wall light

Surface mounted pendant ceiling light

Ceiling mounted hard-wired smoke detector

Wall mounted hard-wired smoke detector

Wall mounted smoke/carbon-monoxide detector

Ceiling mounted smoke/carbon-monoxide detector

Centerline

Gas

(E) Existing fixture

GFCI Ground fault circuit interrupter protection

AFCI Arc fault circuit interrupter protection

WP Waterproof fixture

Horz Horizontal

SO Stub out for future or work by others

MS Motion Sensor

VS Vacancy Sensor

JS Jamb Switch

Ceiling Fan



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WRITTEN PERMISSION AND  
CONSENT OF KAS SEEFELD,  
ARCHITECT

PROJECT: APN : 045-213-003

**DEL MAR REMODEL**

1211 DEL MAR  
SANTA BARBARA, CA 93109

ISSUED:

2018-12-21 SDRB Concept Sub.

2019-04-11 SDRB Concept reSub

2019-07-22 Planning Review

2019-10-24 SDRB Design & Final Sub.

PRINTED 10/23/19

JOB NUMBER: **1806**

SHT: **E2.1**

OF: **24**